

**PLANNING COMMISSION  
REGULAR MEETING AGENDA  
Thursday, November 10, 2022 – 6:00pm**  
Escanaba City Hall, Council Chambers  
410 Ludington Street, Escanaba, MI 49829



James Hellermann, Chair  
Dominic Benetti, Secretary  
Roy Weber, Commissioner  
Mark Hannemann, Commissioner  
Nevin Naser, Commissioner  
David Mason, Commissioner  
Tyler Anthony, Planning & Zoning Admin.  
Ronald Beauchamp, City Council Liaison

**CALL TO ORDER**

**ROLL CALL**

**APPROVAL/CORRECTION(S) TO MINUTES** – Regular Meeting – October 13, 2022

**APPROVAL/ADJUSTMENTS TO THE AGENDA**

**CONFLICT OF INTEREST DECLARATIONS**

**PUBLIC COMMENT ON AGENDA ITEMS**

**PUBLIC HEARING(S)**

**1. Re-Zoning—Commercial District**

The Planning Commission will hold a Public Hearing on the proposed re-zoning of certain properties in and adjacent to the North 30th Street corridor.

**2. Special Land Use Review—201 North Lincoln Road— The Fire Station**

The Planning Commission will hold a Public Hearing to review a special land use application for a proposed retail marihuana establishment to be located at 201 North Lincoln Road.

**UNFINISHED BUSINESS**

**NEW BUSINESS**

**1. Discussion—Permitted Uses in Zones E – Commercial and F – Light Manufacturing**

The Planning Commission will discuss differences in permitted uses in zones E – Commercial and F – Light Manufacturing, specifically related to businesses included in the proposed North 30th Street corridor re-zoning.

**2. Boards/Commissions Updates:**

- a. Delta County Planning Commission Update
- b. Zoning Board of Appeals Hearings/Decisions
- c. Zoning/Land Use Permit Update

**3. Training Updates**

**GENERAL PUBLIC COMMENT**

**COMMISSION/STAFF COMMENT AND ANNOUNCEMENTS**

**ADJOURNMENT**

The City of Escanaba will provide all necessary, reasonable auxiliary aids and services to individuals with disabilities at the meeting/hearing upon five days' notice to the City of Escanaba Clerk's Office by writing or calling (906) 786-9402.

Respectfully Submitted,

A handwritten signature in black ink that reads "Tyler Anthony".

Tyler Anthony,  
Planning & Zoning Administrator  
On behalf of the Planning Commission

## Planning Commission Public Participation Procedures

- Those making public comment are expected to be familiar with the issue and have prepared comments ahead of time.
- To help the public in preparing for the meeting, any written material shall be made available without cost for members of the public asking for a copy prior to the meeting.
- During the agenda item, when the floor is opened for public comment by the chair, individuals wishing to comment should:
  - Approach the podium
  - Speak into the microphone
  - State your full name and address for the record (providing spelling as necessary)
  - Direct all comments/questions to the Chair
  - Be guided by the following time limits:
    - **Petitioner/aggrieved party – 15 minutes** (unless amended by the Chair)
    - **General public – 3 minutes** (unless amended by the Chair)
    - The Chair may ask members of the audience to caucus with others sharing similar positions so they may select a single spokesperson.

**City of Escanaba  
PLANNING COMMISSION – OFFICIAL PROCEEDINGS  
October 13, 2022**

**MEETING CALLED TO ORDER**

A regular meeting of the Escanaba Planning Commission was held on Thursday, October 13, 2022 at 6:00 pm in Room C101 at City Hall, 410 Ludington Street, Escanaba, MI 49829.

**ROLL CALL**

Name	Present	Absent	Name	Present	Absent
Chair James Hellermann	X		Comm. Mark Hannemann	X	
Secretary Dominic Benetti	X		Comm. Roy Webber		X
Comm. Nevin Naser		X	Comm. David Mason	X	

With 4 in attendance, a quorum of the Planning Commission was present.

**ALSO PRESENT**

City Administration	Others
Tyler Anthony, Planning & Zoning Administrator	Willard Carne Jr.
Ronald Beauchamp, Council Liaison	Kelly VanGinhoven
Heather Calouette, Administrative Assistant	Caleb Varoni

2 other unnamed individuals were present.

**MINUTES**

**A motion was made by Hannemann, seconded by Mason, to approve the September 8, 2022 minutes as submitted. MOTION PASSED unanimously.**

**AGENDA**

**A motion was made by Mason seconded by Hannemann, to approve the agenda as submitted. MOTION PASSED unanimously.**

**CONFLICT OF INTEREST DECLARATIONS – None**

**PUBLIC COMMENT ON AGENDA ITEMS** – Ron Beauchamp, Council Liaison asked that Hellermann read a letter that they received from Brian Reilly, President of Dial Management (Exhibit A). Hellermann read the letter from Reilly. Hearing no public comment Hellermann closed the public comment.

**PUBLIC HEARINGS – None**

**NEW BUSINESS-**

**1. Discussion: Marijuana Establishments—Residential Buffer**

Anthony explained that prospective landowners and real estate agents have been inquiring about the 100’ buffer between parcels containing retail marijuana establishments and nearby residential parcels. The prospective landowners are frustrated by the zoning and the limited amount of land due to the current buffers. As a majority of the properties are within 100’ of a single-family dwelling. Anthony indicated that the 500’ buffer from a single-family dwelling for a grower, processor, or safety compliance establishment

may also cause concerns. After further discussion the Planning Commission moved to request amended marihuana ordinance language be provided by Laura Genovich, Foster Swift Collins & Smith PC. Specifically, the section regarding residential buffer zones. The Planning Commission is concerned with the term “single-family dwelling” noting that it’s too narrow of a definition and doesn’t agree with their original intent of the ordinance as they didn’t realize apartments and duplexes are not included in the single-family dwelling definition. The Planning Commission indicated that all permanent dwellings should have a buffer and didn’t realize the miscommunication until it was brought to their attention.

**A motion was made by Mason, seconded by Hannemann to direct Patrick Jordan to contact Laura Genovich and request more precise language regarding dwellings requiring buffers. MOTION PASSED unanimously.**

## **2. Discussion: Rezoning Portion of N 30<sup>th</sup> Street Corridor**

Anthony explained that a property owner on North 30<sup>th</sup> Street has indicated that they have multiple inquiries from individuals who are interested in opening a retail marijuana establishment; however, this specific property is not zoned for such. Upon review from the Zoning Administrator, the parcel and surrounding land on North 30<sup>th</sup> Street between US 2/41 and 3<sup>rd</sup> Avenue North is zoned as F-Light Manufacturing. Anthony explained that there is a conflict with both the current use of the area and the future land use map in the Master Plan. In fact, the Master Plan has the projected use listed as “General Business District” stretching from Lincoln Road to the west side of North 30<sup>th</sup> Street between US 2/ 41 and 3<sup>rd</sup> Avenue North. Anthony indicated that it would be reasonable to rezone a portion of that area to E-Commercial as it would line up with the current land use North of US 2/41 and east of Lincoln Road as well as the Master Plan. He also explained that several height and area restrictions would be relaxed by the change, which may spur development. Anthony read a letter he received from Willard Carne Jr. (Exhibit B) noting that the businesses in that area are retail and the zoning is currently light manufacturing. Carne asked that the zoning in that area be brought to comply with the current business in that area as well as comply with the master plan. Further discussion took place between members of the Planning Commission, and they agreed that a large majority of the North 30<sup>th</sup> Street corridor appears to be zoned incorrectly. Benetti explained that the letter is correct from Carne. Hellermann noted that the master plan does indicate “General Business District” and should be brought into compliance.

**A motion was made by Benetti, seconded by Hannemann to set a Public Hearing at the next Planning Commission meeting regarding rezoning the North 30<sup>th</sup> Corridor as indicated in the provided map from F – Light Manufacturing to E – Commercial.**

**A roll call vote was taken with the following results:**

**Yes- Hellermann, Benetti, Hannemann, Mason**

**No- N/A**

**MOTION PASSED 4-0**

## **3. Off-Premise Commercial Signs**

Anthony noted that recent sign and variance inquiries have prompted a review of the sign ordinance in relation to off-premise commercial signs. Upon review, the ordinance states that off-premise signs are prohibited except for combined off-premise signs erected on dead-end right-of-way (§2005.1.K, §2010.4). Hannemann asked Anthony for the definition of an off-premise sign. After further clarification of an off-premise sign, the Planning Commission stated they wouldn’t be opposed to establishing another sign committee as there was previously a sign committee in the past. The Planning Commission asked that administration establish a sign committee of no more than 4 members. It was agreed that the sign committee may consist of board members and or citizens.

A motion was made by Hellermann, seconded by Hannemann to establish a sign committee of no more than 4 members to advise on the sign ordinance. MOTION PASSED unanimously.

**4. Project Updates**

- A. Delta County Planning Commission: Hannemann discussed their Master Plan, as the Master Plan was recently reviewed by Brad Neuman. He also discussed the concerns with the county’s zoning.
- B. Zoning Board of Appeals: The ZBA met on October 4, 2022 for training and election of officers.
- C. Zoning/ Land Use Permits: The Planning Commission reviewed the submitted year-to-date reports of permit activity and other zoning processes. Anthony indicated that permits are starting to slow down.

**5. Training Updates**

A list of upcoming training opportunities was highlighted.

**GENERAL PUBLIC COMMENT** – Caleb Varoni, noted that he is the property owner of 517 Ludington Street. He recently familiarized himself with the sign ordinance. He has been in contact with the Planning & Zoning Office as he would like to install a new sign on the building but is running into issues with the sign ordinance as the maximum copy area doesn’t seem to justify the wall length. He is aware that the Zoning Board of Appeals is an option but indicated that there are a lot of signs up and down Ludington Street that are out of compliance.

**COMMISSION/STAFF COMMENTS** – Hannemann indicated that the Zoning Board of Appeals could review Caleb Varoni’s sign concerns. Hannemann explained that going to the Zoning Board of Appeals would be much quicker than waiting for the sign ordinance to be revised.

**ADJOURNMENT**

The meeting adjourned at 6:54 pm.

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James Hellermann, Chair  
Escanaba Planning Commission

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Tyler Anthony, Planning & Zoning Administrator  
City of Escanaba

Minutes approved at the \_\_\_\_\_ meeting.

**Exhibit A.**

**From:** Brian Reilly <Breilly@dp-mgmt.com>  
**Sent:** Thursday, October 13, 2022 4:03 PM  
**To:** Tyler Anthony <tanthoni@escanaba.org>; james <james@jameshell.com>; bene0045@hotmail.com; markehannemann47@gmail.com; Nevin Naser <outnumberedcustoms@hotmail.com>; dmason@chartermi.net; roypwebber@chartermi.net  
**Cc:** Mike Carter <mike@mikecarterlaw.com>; Mark Ammel <mammel@escanaba.org>; Karen Moore <kmoore@escanaba.org>; Ronald Beauchamp <rbeauchamp@escanaba.org>; Tyler DuBord <tdubord@escanaba.org>; Todd Flath <tflath@escanaba.org>; Patrick Jordan <pjordan@escanaba.org>  
**Subject:** Dispensaries

Please read during public comment at today's meeting:

Dear Planning Commission Members,

It has come to our attention that several marijuana dispensaries are planned for sites throughout Escanaba, with a concentration of at least three near the Delta Plaza Mall. We understand the legality of marijuana operations in Michigan, and we are proponents of free enterprise. However, please consider the following:

The recent improvements to the mall and its surrounding retail environment have benefited the community in the following ways:

- New sales tax on at least \$30 million of new retail sales
- The creation of >200 new well-paying retail jobs
- A significant improvement in the perception of the community

Dramatic reversal in retail pull and dollar spend out of Marquette, Iron Mountain, Manistique & other communities and into Escanaba.

These investments were carefully planned and coordinated over at least seven years, and there are potentially more to come. The community has MOMENTUM for further long-term retail & hospitality gains.

By contrast the events regarding dispensaries in Escanaba has the feel of a gold rush from the Wild West. Here are issues we encourage you to carefully consider:

- At the mall we have seen an increase in activity from those experiencing homelessness. It is reasonable to expect this to increase substantially with the introduction of multiple dispensaries. This problem will deter visitors from coming to Escanaba to spend their retail dollars.
- We know firsthand how difficult it is to draw a Starbucks, Marshall's, or Hobby Lobby to a community of less than 13,000 residents. These retailers are very specific about the surrounding environment for new locations. I assure you that multiple marijuana operations across the parking lot will make it very difficult to retain quality national retailers you now have, and add a substantial hurdle to future interest in Escanaba. We have ongoing negotiations with several potential national restaurants and retailers who will think twice about making an investment in a community under these circumstances.
- You all know from your years of recruiting efforts how difficult it is to draw a top-tier hotel flag. Changing the perception of the community from a regional retail and recreational hub to a nexus of dispensaries will only make this a more difficult hill to climb.

Again, we know dispensaries are here to stay. We simply encourage you to exercise zoning & licensing discretion regarding the number and location of these operations, including extended radius restrictions from schools, churches, community centers such as the mall, and each other. We also ask that nearby residents and businesses have an extended opportunity to express any well-founded opposition.

Planning, by its nature, requires time, experience and careful consideration. We encourage a pause in licensing and any contemplated zoning changes to allow planning and discussion to create a sustainable long-term future for dispensaries and the existing businesses that are already making Escanaba thrive.

Thank you for your consideration. Brian Reilly

**BRIAN REILLY** President  
DP Management, LLC | 402.493.2800  
11506 Nicholas St | Omaha, NE 68154



Exhibit B.

October 3rd, 2022

City of Escanaba  
410 Ludington Street  
Escanaba, MI 49829

Planning Commission and Zoning

To Whom it May Concern:

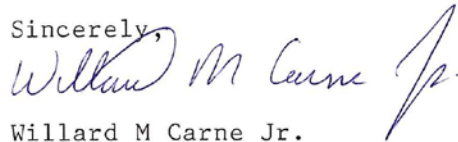
As Property owner of 201 North 30th Street,  
I am requesting on bringing the current zoning on  
the North 30th corridor to comply with the City  
Master Plan.

Currently the businesses in this area are retail  
and the zoning is Light Manufacturing.

I would like to see the zoning in this area  
brought up to comply with the current businesses  
in this area.

Thank you for your consideration in this matter.

Sincerely,



Willard M Carne Jr.



## AGENDA REPORT – PLANNING COMMISSION

For the meeting agenda of **November 10, 2022**

**PUBLIC HEARING #1**

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### Title: Re-zoning – Commercial District

#### Background:

After discussion at the October 13, 2022 Planning Commission meeting, it was recommended that a specific group of properties currently zoned as F – Light Manufacturing be re-zoned to E – Commercial. This came after Commission review which suggests that areas tied to N 30<sup>th</sup> Street, 3<sup>rd</sup> Avenue N, US Highways 2/41, and Willow Creek Road had been neglected by past efforts to update the Zoning Map. It was also recognized that the current zoning of said group was out of line with both their current uses and the future land uses as indicated in the Master Plan’s Future Land Use Map.

Therefore, in accordance with Zoning Ordinance Section 103.3, the Planning Commission has resolved to hold a Public Hearing on the proposed re-zoning of certain properties in and adjacent to the North 30th Street Corridor from F – Light Manufacturing District to E – Commercial District.

The primary components of the zoning regulations for the E-Commercial District are:

- Permitted uses by right include retail stores, restaurants, wholesale business, hotels, hospitals, automotive sales and repair, car washes, post offices, etc.
- Special land uses include public garages, repair shops, gasoline service stations and other motor fuel filling stations, multiple family dwellings with requirements.
- Front setback: 0’, except where the commercial use is on the same side of the street in a block zoned for both commercial and residential uses, side setback: 0’, rear setback: 25’.
- Lot Coverage- Commercial Use: 85% and Lot Coverage- Residential Use: 50%
- Height maximum 70’
- No required off-street parking

A Public Hearing is required before Planning Commission makes a recommendation to City Council for re-zoning.

#### Master Plan References:

City of Escanaba, Future Land Use (2016 Master Plan, p. 119)

General Business District (2016 Master Plan, p. 122)

#### Option for Action:

1. Recommend to City Council the re-zoning of designated properties along the North 30<sup>th</sup> Street, 3<sup>rd</sup> Avenue North, US Highway 2/41 and Willow Creek Road Corridor—Commercial district, as presented.
2. Recommend to City Council the re-zoning of designated properties along the North 30<sup>th</sup> Street, 3<sup>rd</sup> Avenue North, US Highway 2/41 and Willow Creek Road Corridor—Commercial district, with modifications.
3. Continue discussion on re-zoning prior to making recommendation to City Council.

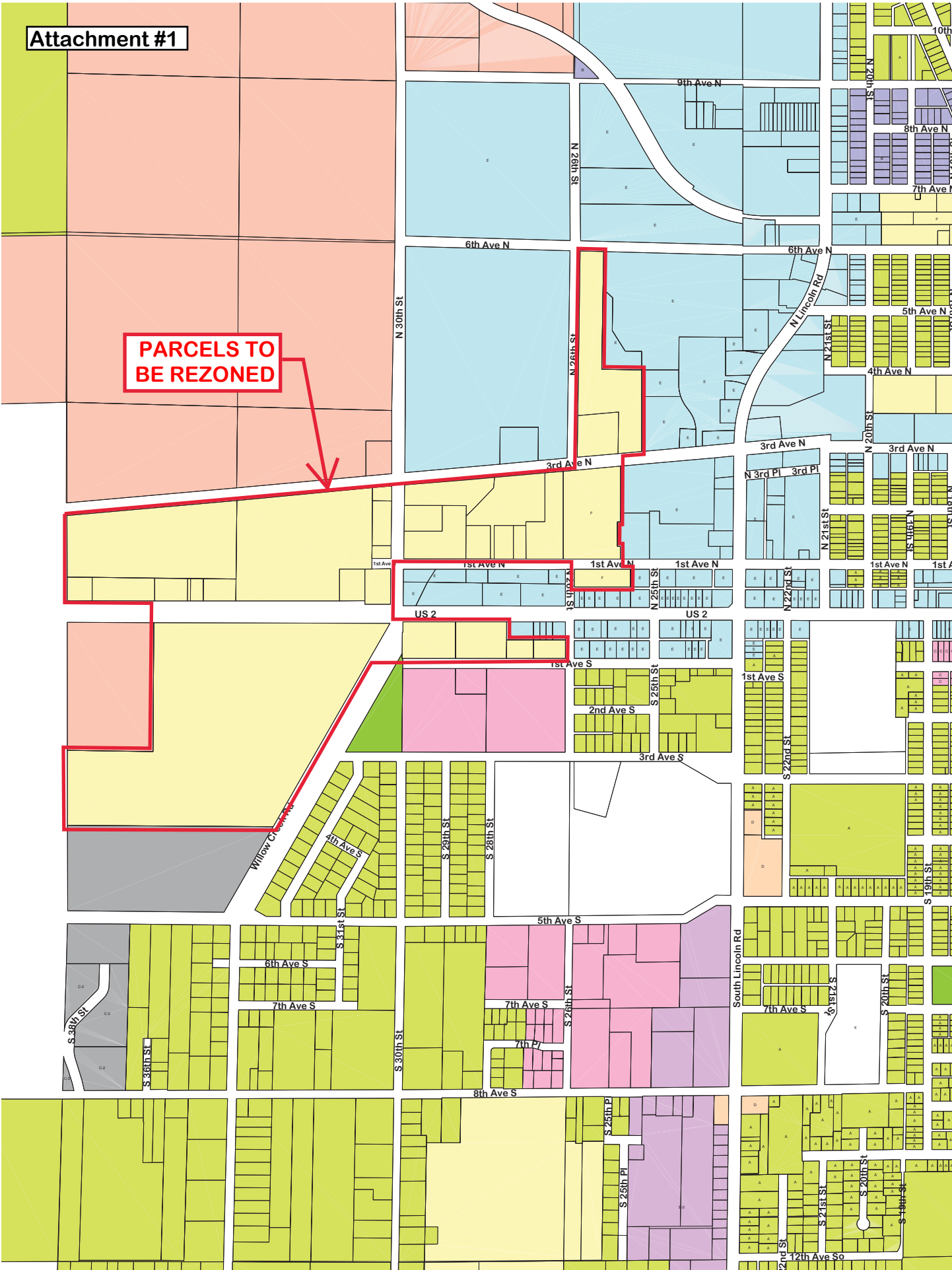
#### Attachments:

1. Proposed E- Commercial District Map
2. List of Properties to be Re-Zoned
3. Public Hearing Notice, Neighbor Notification Letter & Mailing List



Attachment #1

PARCELS TO BE REZONED



# Parcels Included in Rezoning

Parcel ID #	Address (Physical)	Owner Name	Address (Owner's)	City (Owner's)	St.	Zip Code
051-420-2825-200-022	2530 1ST AVE N	3GEN ESCANABA HOLDINGS LLC C/O ERIK ANDERSEN	1200 E US HIGHWAY 169	GRAND RAPIDS	MN	55744-3235
051-420-2825-200-003	2520 3RD AVE N	ALDI INC C/O RYAN TAX COMPLIANCE SERVICES LLC	PO BOX 460049	HOUSTON	TX	77056-8049
051-420-2825-400-004	2635 LUDINGTON ST	ALL SEASONS INC	2635 LUDINGTON ST	ESCANABA	MI	49829-1332
051-420-2825-200-014	2700 1ST AVE N	CARNE WILLARD & ARLENE	2700 1ST AVE N	ESCANABA	MI	49829-1301
051-420-2825-100-002	300 N 30TH ST	CITY OF ESCANABA	410 LUDINGTON ST	ESCANABA	MI	49829-3924
051-420-2825-200-002	2510 3RD AVE N	DAGENAIS REAL ESTATE INC	1505 N LINCOLN RD	ESCANABA	MI	49829-1834
051-420-2825-200-012	2701 3RD AVE N	DAGENAIS REAL ESTATE INC	1505 N LINCOLN RD	ESCANABA	MI	49829-1834
051-420-2825-200-029	2800 1ST AVE N	DAGENAIS REAL ESTATE INC	1505 N LINCOLN RD	ESCANABA	MI	49829-1834
051-420-2825-200-019	2601 3RD AVE N	DIAL ESCANABA OUTLOTS LP	11506 NICHOLAS ST STE 100	OMAHA	NE	68154-4421
051-420-2825-400-045	2600 1ST AVE S	EMBERS CU	1001 W BARAGA AVE	MARQUETTE	MI	49855-4030
051-420-2825-300-029	3600 LUDINGTON ST	ESCANABA HOTEL LLC	3600 LUDINGTON ST	ESCANABA	MI	49829-4220
051-420-2825-200-005	200 N 30TH ST	HALBINSEL VOLKSWAGON INC	200 N 30TH ST	ESCANABA	MI	49829-1394
051-420-2825-300-012	3500 LUDINGTON ST	K ENTERPRISES RENTALS LLC	PO BOX 1227	ESCANABA	MI	49829-6227
051-420-2825-300-007	3400 LUDINGTON ST	K ENTERPRISES RENTALS LLC	PO BOX 1227	ESCANABA	MI	49829-6227
051-420-2825-300-008	3430 LUDINGTON ST	K ENTERPRISES RENTALS LLC	PO BOX 1227	ESCANABA	MI	49829-6227
051-420-2825-300-005	101 N 30TH ST	MENARD INC	5101 MENARD DR	EAU CLAIRE	WI	54703-9604
051-420-2825-300-009	107 N 30TH ST	MENARD INC	5101 MENARD DR	EAU CLAIRE	WI	54703-9604
051-420-2825-100-006	3300 LUDINGTON ST	MENARDS INC #3256	5101 MENARD DR	EAU CLAIRE	WI	54703-9604
051-120-2825-426-001	2525 1ST AVE N	MICHIGAN POSTAL HOLDINGS LLC	75 COLUMBIA AVE	CEDARHURST	NY	11516-2011
051-420-2825-100-007	201 N 30TH ST	NANO SECONDS INC	201 N 30TH ST	ESCANABA	MI	49829-1376
051-420-2825-200-016	220 N 30TH ST	NATIONAL RETAIL PROPERTIES LP C/O RYAN LLC	PO BOX 56607	ATLANTA	GA	30343-0607
051-420-2825-200-020	2929 3RD AVE N	PENINSULA FEDERAL CREDIT UNION	2929 3RD AVE N	ESCANABA	MI	49829-4203
051-420-2825-100-008	301 N 30TH ST	PENINSULA FEDERAL CU	2929 3RD AVE N	ESCANABA	MI	49829-4203
051-420-2825-200-010	2720 1ST AVE N	POLOWSKI ROBERT G & DIANE G	2720 1ST AVE N	ESCANABA	MI	49829-1301
051-420-2825-100-005	331 N 30TH ST	SANDS MIKE MANAGEMENT INC	331 N 30TH ST	ESCANABA	MI	49829-1381
051-420-2825-300-003	3401 LUDINGTON ST	ST FRANCIS HOSPITAL	3401 LUDINGTON ST	ESCANABA	MI	49829-1377
051-420-2825-400-005	2625 LUDINGTON ST	U.P. ENTERPRISES LLC	1505 N LINCOLN RD	ESCANABA	MI	49829-1834
051-420-2825-400-005	2625 LUDINGTON ST	U.P. ENTERPRISES LLC	1505 N LINCOLN RD	ESCANABA	MI	49829-1834
051-420-2825-300-028	3700 LUDINGTON ST	WILLOW CREEK DEVELOPMENT	2408 14TH RD	BARK RIVER	MI	49807-9541

# Renters face charging dilemma as U.S. cities move toward EVs

PORTLAND, Ore. (AP) — Stephanie Terrell bought a used Nissan Leaf this fall and was excited to join the wave of drivers adopting electric vehicles to save on gas money and reduce her carbon footprint.

But Terrell quickly encountered a bump in the road on her journey to clean driving: As a renter, she doesn't have a private garage where she can power up overnight, and the public charging stations near her are often in use, with long wait times. On a recent day, the 23-year-old nearly ran out of power on the freeway because a public charging station she was counting on was busy.

"It was really scary and I was really worried I wasn't going to make it, but luckily I made it here. Now I have to wait a couple hours to even use it because I can't go any further," she said while waiting at another station where a half-dozen EV drivers circled the parking lot, waiting their turn. "I feel better about it than buying gas, but there are problems I didn't really anticipate."

The great transition to electric vehicles is underway for single-family homeowners who can charge their cars at home, but for millions of renters like Terrell, access to charging remains a significant barrier. People who rent are also more likely to buy used EVs that have a lower range than the latest models, making reliable public charging even more critical for them.

Now, cities from Portland to Los Angeles to New York City are trying to come up with innovative public charging solutions as drivers string power cords across sidewalks, stand up their own private charging stations on city right-of-ways and line up at public facilities.

The Biden administration last month approved plans from all 50 states to roll out a network of high-speed chargers along interstate highways coast-to-coast using \$5 billion in federal funding over the next five years. But states must wait to apply for an additional \$2.5 billion in local grants to fill in charging gaps, including in low- and moderate-income areas of cities and in neighborhoods with limited private parking.

"We have a really large challenge right now with making it easy for people to charge who live in apartments," said Jeff Allen, executive director of Forth, a nonprofit that advocates for equity in electric vehicle ownership and charging access.

"There's a mental shift that cities have to make to understand that promoting electric cars is also part of their sustainable transportation strategy. Once they make that mental shift, there's a whole bunch of very tangible things they can — and should — be doing."

The quickest place to charge is a fast charger, also known as DC Fast. Those charge a car in 20 to 45 minutes. But slower chargers which take several hours, known as Level 2, still outnumber DC fast chargers by nearly four to one, although their numbers are growing. Charging an electric vehicle on a standard residential outlet, or Level 1 charger, isn't practical unless you drive little or can leave the car plugged in overnight, as many homeowners can.

Nationwide, there are about 120,000 public charging ports featuring Level 2 charging or above, and nearly 1.5 million electric vehicles registered in the U.S. — a ratio of just over one charger per 12 cars nationally, according to the latest U.S. Department of Transportation data from December 2021. But those chargers are not spread out evenly: In Arizona, for example, the ratio of electric vehicles to charging ports is 18 to one and in California, which has about 39% of the nation's EVs, there are 16 zero-emissions vehicles for every charging port.

A briefing prepared for the U.S. Department of Energy last year by the Pacific Northwest National Laboratory forecasts a total of just under



AP photo

Rebecca DeWhitt charges her electric vehicle in the driveway of the Portland, Ore., home she rents on Sept. 30, 2022. DeWhitt and her partner aren't allowed to use the rental home's garage and so they charge their EV using an extension cord that plugs into a standard electrical outlet outside their front door. The great transition to electric vehicles is underway for homeowners who can charge their cars in a private garage, but for millions of renters like DeWhitt, access to charging remains a significant barrier.

19 million electric vehicles on the road by 2030, with a projected need for an extra 9.6 million charging stations to meet that demand.

In Los Angeles, for example, nearly one-quarter of all new vehicles registered in July were plug-in electric vehicles. The city estimates in the next 20 years, it will have to expand its distribution capacity anywhere from 25% to 50%, with roughly two-thirds of the new power demand coming from electric vehicles, said Yamen Nanne, manager of Los Angeles Department of Water and Power's transportation electrification program.

Amid the boom, dense city neighborhoods are rapidly becoming pressure points in the patchy transition to electrification.

In Los Angeles, the city has installed over 500 electric vehicle chargers — 450 on street lights and about 50 of them on power poles — to meet the demand and has a goal of adding 200 EV pole chargers per year, Nanne said. The chargers are strategically installed in areas where there are apartment complexes or near amenities, he said.

The city currently has 18,000 commercial chargers — ones not in private homes — but only about 3,000 are publicly accessible and just 400 of those are DC Fast chargers, Nanne said. Demand is so high that "when we put a charger out there that's publicly accessible, we don't even have to advertise. People just see it and start using it," he said.

"We're doing really good in terms of chargers that are going into workplaces but the publicly accessible ones is where there's a lot of room to make up. Every city is struggling with that."

Similar initiatives to install pole-mounted chargers are in place or being considered in cities from New York City to Charlotte, N.C. to Kansas City, Missouri. The utility Seattle City Light is also in the early stages of a pilot project to install chargers in neighborhoods where people can't charge at home.

Mark Long, who lives in a floating home on Seattle's Portage Bay, has leased or owned an EV since 2015 and charges at public stations — and sometimes charges on an outdoor outlet at a nearby office and pays them back for the cost.

"We have a small loading area but we all just park on the street," said Long, who hopes to get one of the utility's chargers installed for his floating community. "I've certainly been in a few situations where I'm down to 15, 14, 12 miles and ... whatever I had planned, I'm just suddenly focused on getting a charge."

Other cities, like Portland,

are working to amend building codes for new construction to require electrified parking spaces for new apartment complexes and mixed-use development. A proposal being developed currently would require 50% of parking spaces in most new multi-family dwellings to have an electric conduit that could support future charging stations. In complexes with six spaces or fewer, all parking spaces would need to be pre-wired for EV charging.

Policies that provide equal access to charging are critical because with tax incentives and the emergence of a robust used-EV market, zero-emissions cars are final-

ly within financial reach for lower-income drivers, said Ingrid Fish, who is in charge of Portland's transportation decarbonization program.

"We're hoping if we do our job right, these vehicles are going to become more and more accessible and affordable for people, especially those that have been pushed out of the central city" by rising rents and don't have easy access to public transportation, Fish said.

The initiatives mimic those that have already been deployed in other nations that are much further along in EV adoption.

Worldwide, by 2030, more than 6 million public chargers will be needed to support EV adoption at a rate that keeps international emissions goals within reach, according to a recent study by the International

Council on Clean Transportation. As of this year, the Netherlands and Norway have already installed enough public charging to satisfy 45% and 38% of that demand, respectively, while the U.S. has less than 10% of it in place currently, according to the study, which looked at electrification in 17 nations and government entities that account for more than half of the world's car sales.

Some European cities are far ahead of even the most electric-savvy U.S. cities. London, for example, has 4,000 public chargers on street lights. That's much cheaper — just a third the cost of wiring a charging station into the sidewalk, said Vishant Kothari, manager of the electric mobility team at the World Resources Institute.

## REQUEST FOR PROPOSALS

Menominee County, Michigan is requesting proposals from qualified vendors to design and build a security camera system to completely replace the existing system at the Menominee County Courthouse & Jail facilities located in Menominee, MI. The Request for Proposals and additional information is available on-line at: [www.menomineecounty.com](http://www.menomineecounty.com), Departments > Administration > Purchasing > Open Projects. Sealed proposals for this project will be received until **Friday, November 11, 2022 at 4:15 PM CST**. Contact the Menominee County Department of Administration at 906-863-9648 with questions.



## CITY OF ESCANABA PUBLIC HEARING NOTICE - PLANNING COMMISSION

At a meeting of the Escanaba Planning Commission on Thursday, November 10, 2022, at 6:00pm in the Council Chambers of the Escanaba City Hall, 410 Ludington Street, Escanaba, MI 49829, the following Public Hearing will be conducted:

### Proposed Zoning Map Amendment: E-Commercial District

In accordance with Zoning Ordinance Section 103.3, the Planning Commission will hold a Public Hearing on the proposed re-zoning of certain properties in and adjacent to the North 30th Street Corridor from F — Light Manufacturing District to E — Commercial District.

The public is cordially invited to attend this meeting should you have any questions, comments or concerns. If you are unable to attend this meeting, you may submit your written concerns to the City of Escanaba, Planning & Zoning Dept., P.O. Box 948, 410 Ludington Street, Escanaba, MI 49829 prior to November 10, 2022. All written and signed correspondence will be entered into the public record.

Information related to this agenda item can be viewed at City Hall, 410 Ludington Street, Escanaba, MI 49829 or on the City's website at [escanaba.org](http://escanaba.org) under the Planning Commission page one week prior to the meeting.

Escanaba Planning Commission



## CITY OF ESCANABA PUBLIC HEARING NOTICE - PLANNING COMMISSION

At a meeting of the Escanaba Planning Commission on Thursday, November 10, 2022, at 6:00pm in the Council Chambers of the Escanaba City Hall, 410 Ludington Street, Escanaba, MI 49829, the following Public Hearing will be conducted:

### Special Land Use — Fire Station Cannabis Co.

In accordance with Zoning Ordinance Section 205, the Planning Commission will hold a Public Hearing on the application for a Special Land Use Permit as filed by Fire Station LLC for a Recreational Marijuana Provisioning Center/Retail Establishment to be located at 201 North Lincoln Road.

The public is cordially invited to attend this meeting should you have any questions, comments or concerns. If you are unable to attend this meeting, you may submit your written concerns to the City of Escanaba, Planning & Zoning Dept., P.O. Box 948, 410 Ludington Street, Escanaba, MI 49829 prior to November 10, 2022. All written and signed correspondence will be entered into the public record.

Information related to this agenda item can be viewed at City Hall, 410 Ludington Street, Escanaba, MI 49829 or on the City's website at [escanaba.org](http://escanaba.org) under the Planning Commission page one week prior to the meeting.

Escanaba Planning Commission

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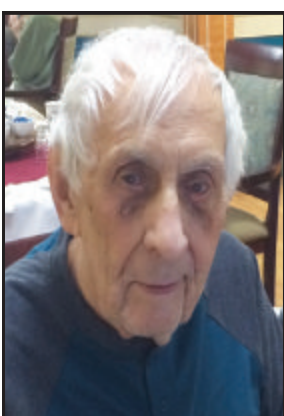
The Daily News  
N.I.E. Newspapers In Education

*Big Holiday*  
**CRAFT SHOW**

Saturday November 5th @  
Kingsford Middle School  
9:00 AM - 4:00 PM

Contact Jennifer at 906.774.2772 Ext. 218  
or [jflynn@ironmountaindailynews.com](mailto:jflynn@ironmountaindailynews.com)  
For More Information

## Veteran Of The Month - Wilfred Wallace



Rank: *Tec Sergeant 7*  
Branch Served: *Army Air Corp.*

Why did you join? Because of war, it was the thing to do.

Why did you pick the service branch you joined? Wanted to fly.

Do you recall your first days in service? Miami Beach trained then to radar training.

Which war (s) did you serve in? World War II

Where exactly did you go? England.

Were you awarded any medals or citations? Wounded - not sure which ones.

How long did you serve? At least three or four.

*Wilfred Is A Resident Of North Woods Place, Escanaba*

This month's featured Veteran  
is Sponsored by Garceau  
Insurance Agency



Local service.



"Customer Service is Our Most Important Policy"  
823 Ludington Street, Escanaba, 906-789-0900  
N15916 U.S. 2&41, Powers, 906-497-4290

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600 Ludington Street  
Escanaba, Michigan 49829  
906-789-9122  
Federal ID# 38-3365439

I LESLIE LEISNER being an authorized representative of THE DAILY PRESS/ UP ACTION NEWS

Escanaba Michigan, do hereby affirm that PUBLIC HEARING NOTICE PLANNING COMMISSION ad(s) for

CITY OF ESCANABA of MICHIGAN

were inserted first on the following dates:

10/26/22 THE DAILY PRESS  
NOT in THE TMC WEEKLY and  
NOT on THE DAILY PRESS WEBSITE

that the attached is a true copy thereof.

Leslie Leisner  
signature of authorized representative

Subscribed and sworn to before me this TWENTY FIFTH day of Oct-22

Dawn Williams  
notary public, Delta County, Michigan

My commission expires 18-Feb-28





October 20, 2022

«Owner\_Name»  
«Address\_Owners»  
«City\_Owners», «State\_Owners» «Zip\_Code\_Owners»

**RE: Public Hearing Notification & Invitation to Comment on Proposed Re-Zoning of Properties in and Adjacent to the North 30<sup>th</sup> Street Corridor**

Dear Property Owner and Neighbors:

The Escanaba Planning Commission has recently evaluated the Zoning Map and is recommending the re-zoning of properties in and adjacent the North 30<sup>th</sup> Street Corridor to better align this area with the City’s Master Plan and current land use patterns. On the reverse side of this letter is a map indicating the proposed change and attached is a complete list of addresses under consideration for re-zoning at this time.

As an owner of one of the properties proposed for re-zoning OR as a neighbor within 300’ of one of these properties, you are invited to attend a Public Hearing before the Planning Commission on Thursday, November 10, 2022 at 6:00pm at the Escanaba City Hall Council Chambers, 410 Ludington Street. The following item will be on the agenda:

**Proposed Zoning Map Amendment: E-Commercial District  
In accordance with Zoning Ordinance Section 103.3, the Planning Commission will hold a Public Hearing on the proposed re-zoning of certain properties in and adjacent to the North 30<sup>th</sup> Street Corridor from F – Light Manufacturing District to E – Commercial District.**

You are invited to attend this meeting should you have any interest in this project. If you have comments, but are unable to attend, please submit your written comments to the Planning & Zoning Department prior to Thursday, November 10, 2022. All written and signed comments will be entered into the public record.

More information will be available for review in the agenda packet which will be posted one week prior to the meeting on the website at [escanaba.org](http://escanaba.org).

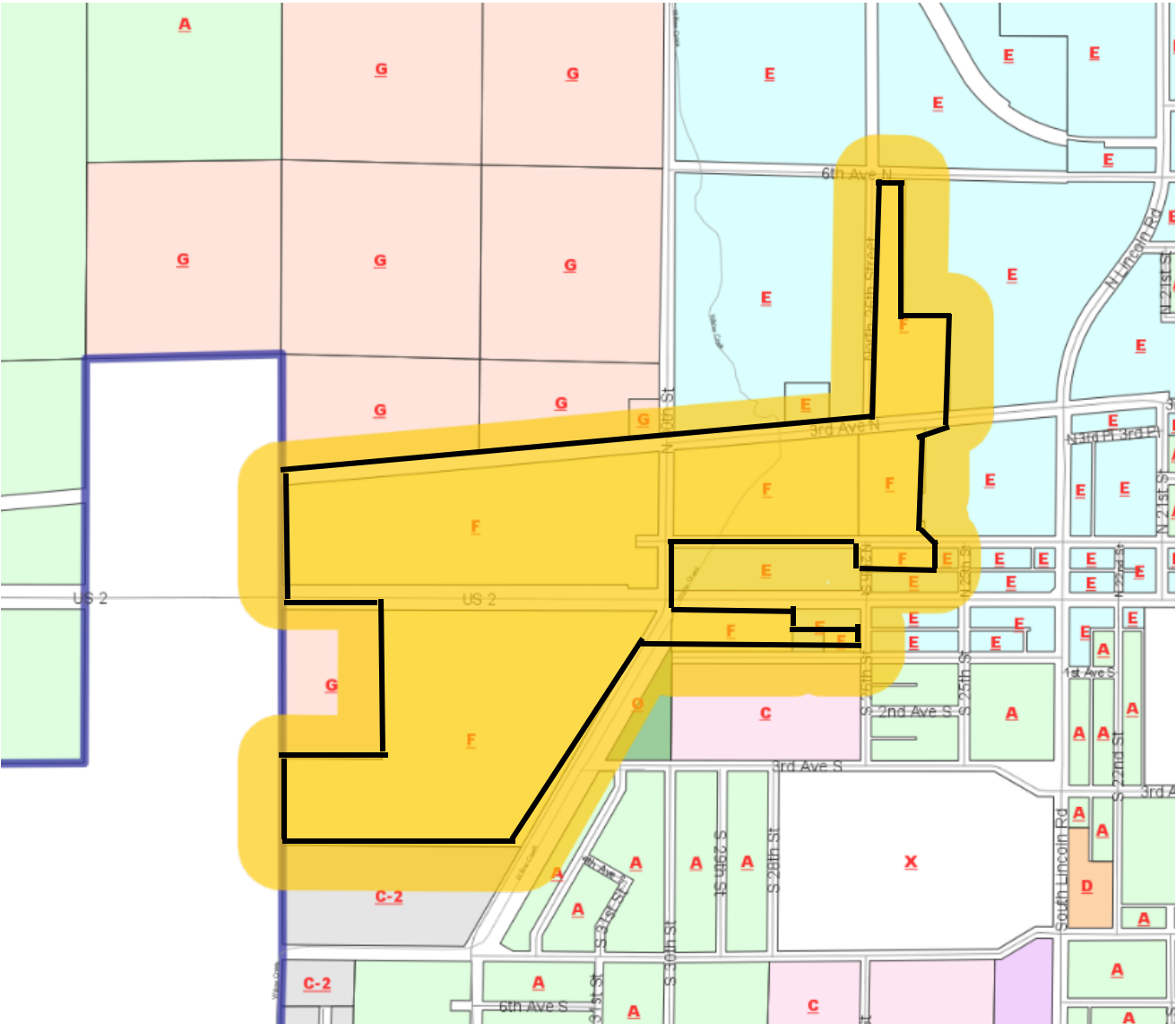
The City of Escanaba will provide all necessary, reasonable auxiliary aids and services to individuals with disabilities at the meeting/hearing upon five days’ notice to the City of Escanaba Clerk’s Office by writing or calling (906) 786-9402

Sincerely,

Tyler Anthony, Planning & Zoning Administrator  
on behalf of the Escanaba Planning Commission

<b>PROOF OF SERVICE – MAILING</b>	
This document was enclosed in sealed envelope, first class postage fully prepaid, and deposited in the U.S. Government Mail.	
Addressee(s):	Assessed Property Owners & Neighbors within 300’ Radius of Proposed E-Commercial District
Mailing Date:	October 20, 2022
Attested To By:	Heather Calouette City of Escanaba - City Hall

# SITE LOCATION FOR PROPOSED COMMERCIAL DISTRICT



Parcels Within 300 ft

Owner Name	Address Owners	City Owners	State Own	Zip Code Owners
3GEN ESCANABA HOLDINGS LLC C/O ERIK ANDERSEN	1200 E US HIGHWAY 169	GRAND RAPIDS	MN	55744-3235
A & L RECYCLING LLC	2000 MILLBOCKER RD	GAYLORD	MI	49735-7743
ALDI INC C/O RYAN TAX COMPLIANCE SERVICES LLC	PO BOX 460049	HOUSTON	TX	77056-8049
ALL SEASONS INC	2635 LUDINGTON ST	ESCANABA	MI	49829-1332
AMMEL STEPHEN & BRENDA	616 WILLOW CREEK RD	ESCANABA	MI	49829-1095
AMMEL STEPHEN J AND BRENDA L	616 WILLOW CREEK RD	ESCANABA	MI	49829-1095
ANDERS COMPANY	823 LAKE SHORE DR	ESCANABA	MI	49829-3634
ANDERS CORP C/O KIM CARNE	823 LAKE SHORE DR	ESCANABA	MI	49829-3634
ANDERSON DONALD JR & TRACY M	408 S 28TH ST	ESCANABA	MI	49829-1233
ANDERSON KAREN A LIVING TRUST	2121 18TH AVE S	ESCANABA	MI	49829-2011
AREC 33 LLC	2727 N CENTRAL AVE	PHOENIX	AZ	85004-1120
AUTOZONE DEVELOPMENT CORP	123 S FRONT ST DEPT 8700	MEMPHIS	TN	38103-3618
BALENTINE PAMELA V	2915 3RD AVE S	ESCANABA	MI	49829-1214
BAYBANK	PO BOX 191	GLADSTONE	MI	49837-0191
BEAUCHAMP RONALD J	528 S 32ND ST	ESCANABA	MI	49829-4336
BEAVERS LAND MANAGEMENT LLC	2220 6TH AVE N	ESCANABA	MI	49829-1446
BFWY REAL ESTATE HOLDINGS LLC	5425 BOONE AVE N	NEW HOPE	MN	55428-3614
BINK ROBERT N REV LIVING TRUST	404 S 29TH ST	ESCANABA	MI	49829-1229
BISHOP NOA HOME FOR SENIOR CITIZENS	2900 3RD AVE S	ESCANABA	MI	49829-1237
BOOT STRAPS INC	8326 W BURNTWOOD P.15 DR # P15	GLADSTONE	MI	49837-2618
BOUDREAU JAYME & LABONTE TONYA	2517 1ST AVE S	ESCANABA	MI	49829-1310
BROTHERHOOD LIMITED PTR LLC	200 BOSTON POST RD STE 13	ORANGE	CT	06477-3245
BUGAY RICHARD C JR & LORI A	403 S 32ND ST	ESCANABA	MI	49829-4359
BUTRYN STANLEY P & COLETA	409 S 29TH ST	ESCANABA	MI	49829-1228
CARLSON GARY R	526 S 31ST ST	ESCANABA	MI	49829-1259
CARNE WILLARD & ARLENE	2700 1ST AVE N	ESCANABA	MI	49829-1301
CARON ROBERT & MARY TRUST	2526 2ND AVE S	ESCANABA	MI	49829-1317
CC VIII OPERATING LLC C/O ATTN: TAX DEPT	PO BOX 7467	CHARLOTTE	NC	28241-7467
CHAPLA RODNEY & JOANNE	300 S 25TH ST	ESCANABA	MI	49829-1320
CONNELLY MARY A & JOHN P	2530 1ST AVE S	ESCANABA	MI	49829-1311

Parcels Within 300 ft

COOPER CHRIS & JULIE	3301 5TH AVE S	ESCANABA	MI	49829-4318
COOPER CHRISTOPHER & JULIE	3301 5TH AVE S	ESCANABA	MI	49829-4318
COSSETTE KIRT & MARILYN	4545 10.75 LN	BARK RIVER	MI	49807-9787
D MIRON ENTERPRISES LLC	1100 N LAKE SHORE DR	GLADSTONE	MI	49837-1133
DAGENAIS REAL ESTATE INC	1505 N LINCOLN RD	ESCANABA	MI	49829-1834
DAGENAIS REAL ESTATE INC C/O STAPLES LEASE	1505 N LINCOLN RD	ESCANABA	MI	49829-1834
DAGENAIS REAL ESTATE INC WALMART PROPERTY TAX DEPARTMENT C/O MS 0555	PO BOX 8050	BENTONVILLE	AR	72712-8055
DAGENAIS SANDRA L	201 S 26TH ST	ESCANABA	MI	49829-1357
DEGRAND ARTHUR & JEANETTE TRUST	3001 LAKE SHORE DR	ESCANABA	MI	49829-1050
DELTA COUNTY	310 LUDINGTON ST STE 171	ESCANABA	MI	49829-4057
DELTA INN MOTEL LLC	PO BOX 962	ESCANABA	MI	49829-0962
DELTA NIMROD CORP WENDYS	112 N LINCOLN RD	ESCANABA	MI	49829-1322
DELTA SCHOOLCRAFT ISD	2525 3RD AVE S	ESCANABA	MI	49829-1258
DIAL ESCANABA BUILDING 1 LP	11506 NICHOLAS ST STE 100	OMAHA	NE	68154-4421
DIAL ESCANABA MALL 1 LP	11506 NICHOLAS ST STE 100	OMAHA	NE	68154-4421
DIAL ESCANABA OUTLOTS LP	11506 NICHOLAS ST	OMAHA	NE	68154-4407
DIAL ESCANABA OUTLOTS LP	11506 NICHOLAS ST STE 100	OMAHA	NE	68154-4421
DIAL ESCANABA OUTLOTS LP C/O RYAN	15 W 6TH ST STE 2400	TULSA	OK	74119-5417
DISHNO-WANGRUD NICKY M	3215 5TH AVE S	ESCANABA	MI	49829-4317
DRAZE WILLIAM D & JANET L	527 S 29TH ST	ESCANABA	MI	49829-1226
DUBORD RICHARD J	2521 2ND AVE S	ESCANABA	MI	49829-1316
DUPEY BRIAN & DIANE	2510 3RD AVE S	ESCANABA	MI	49829-1212
DYKEMA SCOTT & MICHELLE	524 S 32ND ST	ESCANABA	MI	49829-4336
EDINGTON MICHAEL ALLEN	2815 3RD AVE S	ESCANABA	MI	49829-1213
ELMERS COUNTY MARKET INC	412 N LINCOLN RD	ESCANABA	MI	49829-1395
EMBERS CU	1001 W BARAGA AVE	MARQUETTE	MI	49855-4030
ENGBRETSON CORY/MELISSA	514 S 31ST ST	ESCANABA	MI	49829-1259
ESCANABA AREA PUBLIC SCHOOLS	1500 LUDINGTON ST	ESCANABA	MI	49829-2839
ESCANABA HOTEL LLC	3600 LUDINGTON ST	ESCANABA	MI	49829-4220
ESCANABA RETAIL MANAGEMENT II LLC	30200 TELEGRAPH RD STE 205	FRANKLIN	MI	48025-4503
ESKY MCDS INC	1611 LAKE SHORE DR	ESCANABA	MI	49829-2017



Parcels Within 300 ft

FREDERICK DAWSON	2601 1ST AVE N # B	ESCANABA	MI	49829-1448
FROST JEANNE M	2526 3RD AVE S	ESCANABA	MI	49829-1212
GASMAN MICHAEL & JOHN & KRISTINE	W3008 SUNSHINE RD	FREEDOM	WI	54130-7368
GEE PAPA ENTERPRISES INC	2220 6TH AVE N	ESCANABA	MI	49829-1446
GIGUERE EDWARD F & VICKY M	3200 5TH AVE S	ESCANABA	MI	49829-4324
GODFREY TRAVIS & KENDALL	2520 1ST AVE S	ESCANABA	MI	49829-1311
GOOD WILL CO INC	2929 WALKER AVE NW	GRAND RAPIDS	MI	49544-6402
GRABOWSKI KEITH/BONNIE	512 S 31ST ST	ESCANABA	MI	49829-1259
HALBINSEL VOLKSWAGON INC	200 N 30TH ST	ESCANABA	MI	49829-1394
HANSEN BRADLEY J	2328 LUDINGTON ST	ESCANABA	MI	49829-1349
HANSON MICHAEL J & KATHERINE	3116 4TH AVE S	ESCANABA	MI	49829-4334
HASLOW JUDY I	2901 3RD AVE S	ESCANABA	MI	49829-1214
HOLBERTON JOHN D	301 S 26TH ST	ESCANABA	MI	49829-1355
HOSPITALITY PROPERTIES TRUST	255 WASHINGTON ST	NEWTON	MA	02458-1637
HUMBERT MICHAEL R & DANICIA A	2517 2ND AVE S	ESCANABA	MI	49829-1316
JENSHAK KATHRYN M	518 S 31ST ST	ESCANABA	MI	49829-1259
JOHNSON GLENN R & SANDRA VALDEZATE	3066 EVENING WIND ST	HENDERSON	NV	89052-3806
K ENTERPRISES RENTALS LLC	PO BOX 1227	ESCANABA	MI	49829-6227
K ENTERPRISES RENTALS LLC	PO BOX 1227	ESCANABA	MI	49829-6227
KAUR MOHINDERJEET	3120 4TH AVE S	ESCANABA	MI	49829-4334
KOSKI ROBERT & SUSAN	2525 2ND AVE S	ESCANABA	MI	49829-1316
KRAMER RYAN K & CHRISTINA R	516 S 32ND ST	ESCANABA	MI	49829-4336
KRUTINA BRENT A & KRISTINE A	6940 MELODY M.15 LN	ESCANABA	MI	49829-9696
LACOSSE RICHARD	3001 3RD AVE S	ESCANABA	MI	49829-1200
LANCOUR FRANCIS & ELIZABETH MICHAELS DEBORAH	406 S 30TH ST	ESCANABA	MI	49829-1225
LAPOINTE DAVID A	522 S 31ST ST	ESCANABA	MI	49829-1259
LARSON WILLIAM & RILLA	2801 3RD AVE S	ESCANABA	MI	49829-1213
LATVALA KENNETH W & DARLENE K	15806 PETER MAX BLVD	HUDSON	FL	34669-1321
LEHTO ROBERT R & PAMELA R	428 S 32ND ST	ESCANABA	MI	49829-4330
LEONARD ZACHARY & JILL ANN	385 BISHOP WOODS RD	MARQUETTE	MI	49855-8606
LEWIS DARRIN J	513 S 32ND ST	ESCANABA	MI	49829-4335
LINCOLN ESTATES INC	7508 CLUB HOUSE DR	GLADSTONE	MI	49837-2476

Parcels Within 300 ft

LUENEBURG KENNETH & CHERYL & BURAK BRYAN & LYNN C/O BOWL-A-RAMA	2510 1ST AVE N	ESCANABA	MI	49829-1385
LUSARDI ENTERPRISES INC	1665 S STEPHENSON AVE	IRON MOUNTAIN	MI	49801-3635
LYNERS LLC	1401 N 26TH ST	ESCANABA	MI	49829-2500
MAYVILLE DONALD J & BECKY A	2513 2ND AVE S	ESCANABA	MI	49829-1316
MCDONALDS CORP 021/0187 C/O WILSON TIM/MCDONALDS	1611 LAKE SHORE DR	ESCANABA	MI	49829-2017
MCNEIL JAMES & SUSAN	423 S 32ND ST	ESCANABA	MI	49829-4359
MENARD INC	5101 MENARD DR	EAU CLAIRE	WI	54703-9604
MENARDS INC #3256	5101 MENARD DR	EAU CLAIRE	WI	54703-9604
MEYER ROBERT & KAREN LIFE ESTATE	3116 5TH AVE S	ESCANABA	MI	49829-1256
MILLER RAYMOND O & MARGARET L	515 S 32ND ST	ESCANABA	MI	49829-4335
MILLS JANICE LE	404 S 32ND ST	ESCANABA	MI	49829-4330
MJ ENTERPISES OF DELTA COUNTY LLC	9450 BAY SHORE DR	GLADSTONE	MI	49837-2723
MOREHOUSE KARA	405 S 30TH ST	ESCANABA	MI	49829-1224
MOYLE RE & DEV CO LLC	PO BOX 414	HOUGHTON	MI	49931-0414
MURRAY CHRISTOPHER/MICHELLE	530 S 32ND ST	ESCANABA	MI	49829-4336
MURRAY JENAH	6951 M.5 LN	ESCANABA	MI	49829-9527
NANO SECONDS INC	201 N 30TH ST	ESCANABA	MI	49829-1376
NATIONAL RETAIL PROPERTIES LP C/O RYAN LLC	PO BOX 56607	ATLANTA	GA	30343-0607
NORTHLAND CENTERS INC	11506 NICHOLAS ST STE 200	OMAHA	NE	68154-4421
NORTHLAND CENTERS INC C/O C/O DP MANAGEMENT	11506 NICHOLAS ST STE 200	OMAHA	NE	68154-4421
NORTHLAND CENTERS INC C/O MICHIGAN PIZZA HUT INC	2053 NILES RD	SAINT JOSEPH	MI	49085-2505
O'REILLY AUTO ENTERPRISES LLC	PO BOX 9167	SPRINGFIELD	MO	65801-9167
PALM REVOCABLE TRUST	156 E CLOVERLAND DR	IRONWOOD	MI	49938-1228
PEARSON DENNIS & MARILYN	2527 2ND AVE S	ESCANABA	MI	49829-1316
PENINSULA FEDERAL CREDIT UNION	2929 3RD AVE N	ESCANABA	MI	49829-4203
PENINSULA FEDERAL CU	2929 3RD AVE N	ESCANABA	MI	49829-4203
PEREZ JUAN & LUZ	414 S 32ND ST	ESCANABA	MI	49829-4330
PETERSON LEONARD & JUDITH & ASHLEY	610 WILLOW CREEK RD	ESCANABA	MI	49829-1095
PETERSON LEONARD C & JUDITH D IZHAKI ASHLEY TM	610 WILLOW CREEK RD	ESCANABA	MI	49829-1095

Parcels Within 300 ft

PKL LLC	522 S 28TH ST	ESCANABA	MI	49829-1231
PLOURDE LIZA A	9912 RIVER J.5 LN	CORNELL	MI	49818-9551
POLOWSKI ROBERT G & DIANE G	2720 1ST AVE N	ESCANABA	MI	49829-1301
POTVIN EVEYLN	2516 2ND AVE S	ESCANABA	MI	49829-1317
POULIOTS AUTO EXPO INC	2920 LUDINGTON ST	ESCANABA	MI	49829-1371
RAHN THOMAS L & JACQUELYN K	510 S 32ND ST	ESCANABA	MI	49829-4336
REEVES JOEL & MARLENE	2524 2ND AVE S	ESCANABA	MI	49829-1317
RIVERSIDE AUTO INC	2511 LUDINGTON ST	ESCANABA	MI	49829-1397
ROMPS RONALD R & CAROL A	410 S 30TH ST	ESCANABA	MI	49829-1225
RUSSELL MARY T	2520 3RD AVE S	ESCANABA	MI	49829-1212
SAHN DOROTHY & WILLIAMS D & SAHN C	2332 LUDINGTON ST	ESCANABA	MI	49829-1349
SAND POINT MEDICAL PROPERTIES LLC	367 S GULPH RD	KING OF PRUSSIA	PA	19406-3121
SANDS MIKE MANAGEMENT INC	331 N 30TH ST	ESCANABA	MI	49829-1381
SAYKLLYS CONFECTIONERY & GIFTS	1304 LUDINGTON ST	ESCANABA	MI	49829-2848
SCHOFF BRADLEY D & GLENDA S	408 S 29TH ST	ESCANABA	MI	49829-1229
SCHWALBACH KENNETH SR & BARBARA	7295 LAKE BLUFF O.75 LN # 0.75	GLADSTONE	MI	49837-2412
SCOTT & MARY FRITZ ENTERPRISES INC	4611 US HWY 2-41	ESCANABA	MI	49829
SEYMOUR PATRICIA RAE	3621 8TH AVE S	ESCANABA	MI	49829-1124
SHIELDS MICHELE M	404 S 28TH ST	ESCANABA	MI	49829-1233
SKRADSKI DEBBIE D ANDERSON	226 S 25TH ST	ESCANABA	MI	49829-1319
SKROBIAK MARK & LAURIE LE	PO BOX 1032	ESCANABA	MI	49829-6032
SKY ESCANABA LLC	11815 BRAESRIDGE DR	HOUSTON	TX	77071-2607
SODERBERG JAMES E & MARY L	506 S 32ND ST	ESCANABA	MI	49829-4336
SPENCER DAREN A & ROXANNE	409 S 30TH ST	ESCANABA	MI	49829-1224
ST FRANCIS HOSPITAL	3401 LUDINGTON ST	ESCANABA	MI	49829-1377
TASSON JASON S & CRABB LACEY L	520 S 32ND ST	ESCANABA	MI	49829-4336
THE COMMUNITY FOUNDATION FOR DC	2420 1ST AVE S STE 101	ESCANABA	MI	49829-1309
THOMPSON TRACY L	PO BOX 644	ESCANABA	MI	49829-0644
TIANEN COLE D	2530 3RD AVE S	ESCANABA	MI	49829-1212
U.P. ENTERPRISES LLC	1505 N LINCOLN RD	ESCANABA	MI	49829-1834
UP ENTERPRISES LLC	1505 N LINCOLN RD	ESCANABA	MI	49829-1834
UP ENTERPRISES LLC RIVERSIDE AUTO	1505 N LINCOLN RD	ESCANABA	MI	49829-1834
UP ENTERPRISES LLC UP ENTERPRISES/WAL-MART	1505 N LINCOLN RD	ESCANABA	MI	49829-1834

Parcels Within 300 ft

UP STATE EMPLOYEE CU	PO BOX 456	ESCANABA	MI	49829-0456
UPCAP SERVICES INC	PO BOX 606	ESCANABA	MI	49829-0606
UPPER PENINSULA STATE BANK	430 N LINCOLN RD	ESCANABA	MI	49829-1365
WA LLC	522 S 28TH ST	ESCANABA	MI	49829-1231
WAGNER MICHAEL B & SHARON K	2516 3RD AVE S	ESCANABA	MI	49829-1212
WERY GARY E & MARGARET S	7572 SUMMIT 19.55 DR	GLADSTONE	MI	49837-2451
WESTMINSTER DEVELOPMENT LLC	2601 W 26TH ST	ERIE	PA	16506-3063
WH APTS LTD DIV HOUSING ASSOC LLC	PO BOX 4300	TROY	MI	48099-4300
WILLIAMS LINDA	2425 1ST AVE S	ESCANABA	MI	49829-1308
WILLOW CREEK DEVELOPMENT	2408 14TH RD	BARK RIVER	MI	49807-9541
YAVORSKI JOHN & SHERYL	3126 6TH AVE S	ESCANABA	MI	49829-1220
YAVORSKI JOHN P & SHERYL	3126 6TH AVE S	ESCANABA	MI	49829-1220

## AGENDA REPORT – PLANNING COMMISSION

For the meeting agenda of November 10, 2022

**PUBLIC HEARING #2**

---

**Title: Special Land Use Review- 201 North Lincoln Road—The Fire Station**

**Background:**

In accordance with Zoning Ordinance Section 205, the Planning Commission will hold a Public Hearing on the application for a Special Land Use Permit as filed by Fire Station LLC for a Recreational Marihuana Provisioning Center/Retail Establishment to be located at 201 North Lincoln Road.

**Options for Action:**

1. To approve the site plan for a provisioning center/ retail marihuana establishment located at 201 North Lincoln Road. A separate sign application will be required.
2. To conditionally approve the site plan for a provisioning center/ retail marihuana establishment located at 201 North Lincoln Road. (Must list standards not met and reasons to conditionally approve the site plan)
3. To deny the site plan for a provisioning center/ retail marihuana establishment located at 201 North Lincoln Road. (Must list standards not met and reasons for denial.)

**Attachments:**

1. Staff Report- 201 North Lincoln Road—The Fire Station
2. Public Hearing Notice, Neighbor Notification Letter & Mailing List



## STAFF REPORT - MARIHUANA SPECIAL LAND USE PERMIT

For Planning Commission review on November 10, 2022

Prepared: Tyler Anthony, Planning & Zoning Administrator

Project Information	
PZCM22-0001	201 N Lincoln Road
The Fire Station Cannabis Co.	
The Fire Station LLC	S&W Real Estate LLC
E – Commercial	051-120-2825-278-003
<input type="checkbox"/> Medical Marihuana Facility <input checked="" type="checkbox"/> Adult Use (Recreational) Marihuana Establishment	
<input type="checkbox"/> Grower – Class A <input type="checkbox"/> Grower – Class B <input type="checkbox"/> Grower – Class C <input type="checkbox"/> Excess Marihuana Grower <input type="checkbox"/> Processor	<input type="checkbox"/> Safety Compliance Establishment <input checked="" type="checkbox"/> Provisioning Center/Retailer <input type="checkbox"/> Microbusiness - up to 150 plants (Adult Use Only) <input type="checkbox"/> Designated Consumption Establishment (Adult Use Only) <input type="checkbox"/> Secure Transporter
Required Documents	
<input checked="" type="checkbox"/> Photocopy of a valid, unexpired driver’s license or state-issued identification card held by all individuals signing this application and... ✓ the applicant if filing as an individual, or ✓ all owners, directors, and officers of the applicant entity if filing as a non-individual.	
<input checked="" type="checkbox"/> (1) physical copy and (1) digital PDF copy of the complete construction drawings, including a Site Plan drawing and Architectural Floor Plans and Elevations, provided by the architect/engineer.	
<input checked="" type="checkbox"/> Copies of all documents issued by the Department of Licensing and Regulatory Affairs (LARA) indicating that the applicant has been prequalified for a state operating license under the Medical Marihuana Facilities Licensing Act (MMFLA) or Michigan Regulation and Taxation of Marihuana Act (MRTMA).	
<input checked="" type="checkbox"/> Any documents required by the Information & Standards Checklist.	
Development Standards Review	
Is the Information & Standards Checklist complete? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<b>1907 – Development Standards for Granting Plan Approval.</b>	<b>Finding:</b> Compliant <b>Comments:</b> -
<b>1908 – Development and Design Standards in Certain Districts.</b>	<b>Finding:</b> Compliant <b>Comments:</b> -
<b>1909 – General Outdoor Lighting Requirements.</b>	<b>Finding:</b> Compliant <b>Comments:</b> -
<b>1910 – Screening of Outdoor Storage.</b>	<b>Finding:</b> Not Applicable <b>Comments:</b> Existing dumpster and enclosure to be shared with adjacent business.
<b>1911 – Fences/Hedges.</b>	<b>Finding:</b> Not Applicable <b>Comments:</b> None proposed.



## STAFF REPORT - MARIHUANA SPECIAL LAND USE PERMIT

For Planning Commission review on November 10, 2022

Prepared: Tyler Anthony, Planning & Zoning Administrator

1912 – Landscaping, Buffers, and Screening.	<b>Finding:</b> Not Applicable
	<b>Comments:</b> No details required due to project being less than requirements as stated in section 1912.
1913 – Alternative Buffer and Screening Requirements.	<b>Finding:</b> Not Applicable
	<b>Comments:</b> No alternative buffers or screening has been proposed.
<b>Special Land Use Review</b>	
205.6.2. – Screening.	<b>Finding:</b> Compliant
	<b>Comments:</b> -
205.6.3. – Odor.	<b>Finding:</b> Compliant
	<b>Comments:</b> Applicant provided details regarding sanitation, odor filtration.
205.6.5. – Disposal.	<b>Finding:</b> Compliant
	<b>Comments:</b> Applicant provided details regarding hazardous waste management and storage.
205.6.7. – Signage.	<b>Finding:</b> Compliant
	<b>Comments:</b> Signage compliant as presented, however signage still requires the standard permitting process.
205.6.8. – Minimum Distancing Regulations.	<b>Finding:</b> Compliant
	<b>Comments:</b> Parcel is well outside any required buffer zones.
205.6.9.1. – Product Visibility from Exterior.	<b>Finding:</b> Further Discussion Recommended
	<b>Comments:</b> Product may be visible from exterior, however only through intervening rooms. No direct sight lines from the public way are apparent upon staff review.
205.6.9.2. – On-Premises Consumption.	<b>Finding:</b> Compliant
	<b>Comments:</b> Applicant has provided a plan for compliance.
205.6.9.3. – Surveillance Systems.	<b>Finding:</b> Compliant
	<b>Comments:</b> -
205.6.9.4. – Separation of Public Space.	<b>Finding:</b> Compliant
	<b>Comments:</b> -
205.6.9.5. – Drive-Through Windows.	<b>Finding:</b> Compliant
	<b>Comments:</b> -
205.6.9.6. – Alcohol and Tobacco Sales	<b>Finding:</b> Compliant
	<b>Comments:</b> -



**STAFF REPORT - MARIHUANA SPECIAL LAND USE PERMIT**

For Planning Commission review on November 10, 2022

Prepared: Tyler Anthony, Planning & Zoning Administrator

<b>205.6.9.7. – Design Compatibility with Surroundings.</b>	<b>Finding:</b> Compliant
	<b>Comments:</b> -
<b>205.6.9.8. – Minimum Building Articulation.</b>	<b>Finding:</b> Compliant
	<b>Comments:</b> -
<b>205.6.9.9. – Facades.</b>	<b>Finding:</b> Compliant
	<b>Comments:</b> -
<b>205.6.9.10. – Entrances.</b>	<b>Finding:</b> Compliant
	<b>Comments:</b> -
<b>205.6.9.11. – Windows.</b>	<b>Finding:</b> Compliant
	<b>Comments:</b> -
<b>205.6.9.12. – Awnings.</b>	<b>Finding:</b> Not Applicable
	<b>Comments:</b> No awnings are proposed for project.
<b>205.6.9.13. – Base and Top Treatments.</b>	<b>Finding:</b> Compliant
	<b>Comments:</b> -
<b>205.6.9.14. – Architectural Encroachments.</b>	<b>Finding:</b> Compliant
	<b>Comments:</b> -
<b>205.6.10.1. – Growers: Odor Control Measures.</b>	<b>Finding:</b> Not Applicable
	<b>Comments:</b> Not a grower.
<b>205.6.10.2. – Growers: Cultivation Structure</b>	<b>Finding:</b> Not Applicable
	<b>Comments:</b> Not a grower.
<b>205.6.10.3. – Growers: Cultivation Impact on Sanitary Sewer.</b>	<b>Finding:</b> Not Applicable
	<b>Comments:</b> Not a grower.
<b>205.6.11.1. – Processors: Cultivation Impact on Sanitary Sewer.</b>	<b>Finding:</b> Not Applicable
	<b>Comments:</b> Not a processor.
<b>205.6.12.1. – Safety Compliance Facilities: Cultivation Impact on Sanitary Sewer.</b>	<b>Finding:</b> Not Applicable
	<b>Comments:</b> Not a safety compliance facility.





**STAFF REPORT - MARIHUANA SPECIAL LAND USE PERMIT**

For Planning Commission review on November 10, 2022

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<b>Review Procedure</b>	
<b>1803.1.1.2. – Application</b>	The applicant submitted the complete application and fee for site plan consideration on or prior to the 21-day deadline.
	<b>Finding:</b> Compliant <b>Date:</b> 10/17/2022
<b>1802.2. – Site Plan Diagram Requirements, 1803.1.1.3. – Official Review</b>	A preliminary review was conducted by the Planning & Zoning Administrator for comments as to the proposed development’s conformance to all applicable standards and requirements
	<b>Finding:</b> Compliant <b>Date:</b> 10/20/2022
<b>1803.1.1.3. – Official Review, 1905 – Administration, Duties, and Responsibilities</b>	Plans were circulated to Department Heads for review on the listed date. No concerns or comments were expressed.
	<b>Finding:</b> Compliant <b>Date:</b> 10/19/2022
<b>1803.1.1.4. – Approval; Referral, 1803.3. – Site Plan Approval</b>	Being deemed complete, the proposal is referred to the Planning Commission for approval/denial within 45 days of submission.
	<b>Finding:</b> Compliant <b>Date:</b> 10/20/2022
<b>205.4. – Notices</b>	All notification requirements of the Ordinance have been fulfilled as follows: <input checked="" type="checkbox"/> Daily Press Newspaper <b>Publishing Date:</b> 10/26/2022 <input checked="" type="checkbox"/> All neighbors within 300’ <b>Postage Date:</b> 10/20/2022 <input checked="" type="checkbox"/> City of Escanaba Website and Facebook Page <b>Notice Date:</b> 11/3/2022
	<b>Finding:</b> Compliant



# MARIHUANA SPECIAL LAND USE PERMIT APPLICATION

Planning & Zoning Department – 906-786-9402

Submission Information	
<p><b>Application Fee: \$500</b></p> <p>Mail to: Planning &amp; Zoning Department PO Box 948, Escanaba, MI 49829</p> <p>In-Person: 410 Ludington Street 2nd Floor (M-F, 7:30a-4p)</p> <p>Email: <a href="mailto:permits@escanaba.org">permits@escanaba.org</a></p>	<p>Payment due upon submittal.</p> <p>Cash, check, and credit card are accepted.</p> <p>Make checks payable to "City of Escanaba".</p> <p>Additional processing fee applies to credit card transactions.</p> <p>Payment by credit card is accepted in-person or by phone.</p>

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.**

City Staff can assist with locating some information, but Applicant is responsible for submitting a complete application.

Property and Facility/Establishment Identification	
Address 201 North Lincoln Rd	Parcel # 051-120-2825-278-003
Facility/Establishment Name Proposed Name: The Fire Station Cannabis Co.	<input type="checkbox"/> Medical Marihuana Facility <input checked="" type="checkbox"/> Adult Use (Recreational) Marihuana Establishment

Required Components	
<p>Did you obtain pre-qualification status from the State of Michigan?    <input checked="" type="checkbox"/> Yes    <input type="checkbox"/> No</p>	
<p>Please provide the following documents to submit a complete application:</p> <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Photocopy of a valid, unexpired driver's license or state-issued identification card held by all individuals signing this application and...             <ul style="list-style-type: none"> <li>✓ the applicant if filing as an individual, or</li> <li>✓ all owners, directors, and officers of the applicant entity if filing as a non-individual.</li> </ul> </li> <li><input checked="" type="checkbox"/> (1) physical copy and (1) digital PDF copy of the complete construction drawings, including a Site Plan drawing and Architectural Floor Plans and Elevations, provided by the architect/engineer.</li> <li><input checked="" type="checkbox"/> Copies of all documents issued by the Department of Licensing and Regulatory Affairs (LARA) indicating that the applicant has been prequalified for a state operating license under the Medical Marihuana Facilities Licensing Act (MMFLA) or Michigan Regulation and Taxation of Marihuana Act (MRTMA).</li> <li><input checked="" type="checkbox"/> Any documents required by the <b>Information &amp; Standards Checklist</b>.</li> </ul>	

Type of Facility/Establishment and Restrictions		
An establishment may not be located within 750' of an existing public or private K-12 school.		
May not be located within 500' of an existing single-family dwelling.	May not be located within 100' of an existing single-family dwelling. <b>Exception: E-3 – Central Commercial.</b>	No additional distance restriction.
<input checked="" type="checkbox"/> Grower – Class A <input checked="" type="checkbox"/> Grower – Class B <input checked="" type="checkbox"/> Grower – Class C <input checked="" type="checkbox"/> Excess Marihuana Grower <input checked="" type="checkbox"/> Processor <input checked="" type="checkbox"/> Safety Compliance Establishment	<input checked="" type="checkbox"/> Provisioning Center/Retailer <input checked="" type="checkbox"/> Microbusiness - up to 150 plants (Adult Use Only) <input checked="" type="checkbox"/> Designated Consumption Establishment (Adult Use Only)	<input checked="" type="checkbox"/> Secure Transporter



# MARIHUANA SPECIAL LAND USE PERMIT APPLICATION

Planning & Zoning Department – 906-786-9402

Description of Project		
RENOVATION/REMODEL OF 4150 sq ft 'HUDSON'S CLASSIC GRILL' INTO A MERCANTILE / RETAIL FACILITY FOR THE SALE OF RECREATIONAL MARIJUANA & CANNABIS PRODUCTS AS REGULATED BY THE STATE OF MICHIGAN'S DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS (LARA) AND MARIJUANA REGULATORY AGENCY (MRA). SCOPE OF WORK INCLUDES INTERIOR COMMERCIAL LAYOUT, NEW HVAC SYSTEMS AS NECESSARY, AND UPDATED EXTERIOR FACADE.		
Structure Length (ft), Width (ft), Area (s.f.)	Number of Stories, Height (ft)	Project Valuation
See sheet A2.0	1	\$ 600,000.00
Utilities to be incorporated: <input checked="" type="checkbox"/> Electric <input checked="" type="checkbox"/> Water <input checked="" type="checkbox"/> Sanitary Sewer <input checked="" type="checkbox"/> Storm Sewer <input type="checkbox"/> N/A		

Contact Information	
Property Owner Name	Company (if non-individual)
Stosh Wasik & Logan Stauber	S&W Real Estate, LLC
Address, City, State, ZIP	
181 W Bluff St Marquette MI 49855	
Phone	Email
[REDACTED]	[REDACTED]
Applicant/Owner's Representative Name	Company (if non-individual)
Stosh Wasik & Logan Stauber	The Fire Station, LLC
Address, City, State, ZIP	
PO Box 220 Marquette MI 49855	
Phone	Email
[REDACTED]	[REDACTED]
Architect/Engineer's Name	Company
Dax Richer and Jason Gauthier	RG Design Company
Address, City, State, ZIP	
829 Croix St Negaunee MI 49866	
Phone	Email
Office: 906-273-1041	dax@rg-design.co or jason@rg-design.co

Staff Use Only	
Date Submitted	Fee Paid: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No      Receipt #
10/13/2022	9304595
Lot Type: <input checked="" type="checkbox"/> Corner <input type="checkbox"/> Interior <input type="checkbox"/> Irregular	Length, Width, Area (s.f.)
	100, 100, 10,018
Area of Existing Structures (s.f.)	Zoning District:
4,098	E-Commercial
Easements:	
No known easements.	



# MARIHUANA SPECIAL LAND USE PERMIT APPLICATION

Planning & Zoning Department – 906-786-9402

## INFORMATION & STANDARDS CHECKLIST

Complete the following checklist to verify that the following Site Plan Information, Development Standards, and Marihuana Establishment Special Land Use Standards have been reviewed and incorporated into the plan.

Attach a separate verification sheet referencing each checklist item number. This sheet must include explanations or evidence that would demonstrate compliance with the standard OR why the standard is not applicable to the project. Failure to address these items will delay approval. A site plan review will not be scheduled for hearing by the Planning Commission until a complete application is submitted.

Site Plan Information		Yes	N/A
SP-1	The site plan must consist of a scaled drawing at a scale of one inch equals twenty feet (1"=20') or less, showing the site, its zoning classification, location, type, and size of structures and/or land on adjacent properties within two hundred (200) feet of the property.	X	
SP-2	Boundary survey of property prepared by a registered survey showing the location of proposed and/or existing property line, dimensions, legal descriptions, setback lines, and monument locations.	X	
SP-3	Location and type of significant existing vegetation as determined by a qualified, city approved authority.	X	
SP-4	Location and elevations of existing water courses and water bodies, including county drains and manmade surface drainage ways.	X	
SP-5	Location of existing and/or proposed buildings and intended uses thereof, as well as the length, width, and height of each building.	X	
SP-6	Proposed location of accessory structures, buildings and uses, including but not limited to, all flagpoles, light poles, storage sheds, transformers, air conditioners, generators and similar equipment, and the method of screening where applicable.	X	
SP-7	Location of snow storage areas.	X	
SP-8	Location of existing public roads, rights-of-way, and private easements of record and abutting streets. Dedication of any right-of-way for widening, extension, or connection of major streets as shown on the official Master Street Plan, and granting of easement(s) for public utilities where required.	X	
SP-9	Location of and dimensions of proposed streets, drives, curb cuts, and access easements, as well as acceleration, deceleration and passing lanes (if any) serving the development.	X	
SP-10	Location, design, and dimensions of existing and/or proposed curbing, barrier free access, carports, parking areas (including indication of all spaces and method of surfacing), fire lanes and all lighting thereof.	X	
SP-11	Location, size, and characteristics of all loading and unloading areas.	X	
SP-12	Location and design of all sidewalks, walkways, bicycle paths and areas for public use.	X	
SP-13	Location of water supply lines and/or wells, including fire hydrants and shut-off valves, and the location and design of storm sewers, retention or detention ponds, wastewater lines, clean-out locations, connection points and treatment systems, including septic systems, if applicable.	X	
SP-14	Location of all other utilities on the site, including but not limited to natural gas, electric, cable TV, telephone, and steam.	X	
SP-15	Proposed location, dimensions and details of common open spaces and common facilities such as community buildings or swimming pools, if applicable.	X	
SP-16	Location, size, and specifications of all signs and advertising features.	X	
SP-17	Exterior lighting. ALL EXTERIOR LIGHTING IS EXISTING; THE FIRE STATION IS REPLACING EXISTING FIXTURES WITH NEW LED LIGHTING. ALL LIGHTING SHALL BE DIRECTED DOWNWARD TO MEET "DARK-SKY" REQUIREMENTS.		X
SP-18	Location, height, size and specifications of all fences, walls, and other screening features with cross sections.	X	
SP-19	Location and specifications for all proposed perimeter and internal landscaping and other buffering features. For each new landscape material, the proposed size at the time of planting must be indicated. All vegetation to be retained on the site must also be indicated, as well as its typical size by general location or range of sizes as appropriate.	X	
SP-20	Location, size, and specifications for screening of all trash receptacles and other solid waste disposal facilities.	X	
SP-21	Location and specifications for any existing or proposed above or below ground storage facilities for any chemicals, salts, flammable materials, or hazardous materials as well as any containment structures or clear zones required by government authorities.	X	
SP-22	Identification of any significant site amenities or unique natural features.	X	



# MARIHUANA SPECIAL LAND USE PERMIT APPLICATION

Planning & Zoning Department – 906-786-9402

SP-23	Identification of any significant views onto or from the site to or from adjoining areas.	X	
SP-24	North arrow, scale and date of original submittal and last revision.	X	
SP-25	Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan.	X	
<b>Development Standards for Granting Plan Approval</b>		<b>Yes</b>	<b>N/A</b>
DS-1	<b>Building orientation.</b> Primary structure N/A; which the lot fronts. If the development SCOPE OF WORK: INTERIOR COMMERCIAL REMODEL to the corner. EXISTING STRUCTURE WITH NO PROPOSED ADDITIONS OR EXPANSIONS TO FOOTPRINT.		X
DS-2	<b>Roof equipment.</b> All roof-mounted equipment, including satellite dishes and other communication equipment, must be screened from recreation trails or from a public sidewalk adjacent to the site by a parapet wall or similar architectural feature. Exception: Solar energy collection panels do not require screening to allow maximum effectiveness.		
DS-3	<b>Visual and sound mitigation.</b> Reasonable visual and sound mitigation for all structures shall be provided. Fences, walks, barriers, and landscaping shall be used appropriately for the protection and enhancement of property and for the privacy of its occupants.		
DS-4	<b>Emergency access.</b> Every principal building or groups of buildings shall be so arranged as to permit emergency access by some practical means to all sides		
DS-5	<b>Street access.</b> Every development shall have legal access to a public or private street.		
DS-6	<b>Circulation system.</b> The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian, and bicycle ways in the area. Travel ways which connect and serve adjacent development shall be designed appropriately to carry the projected traffic.		
DS-7	<b>Non-motorized circulation system.</b> A pedestrian and/or non-motorized vehicle circulation system shall be provided which is physically separated and insulated as reasonably possible from the vehicular circulation system.		
DS-8	<b>Parking areas.</b> All parking areas shall be designed to facilitate safe and efficient vehicular, non-motorized vehicle traffic, pedestrian circulation, minimize congestion at points of access and egress to intersecting roads, to encourage the appropriate use of alleys and minimize the negative visual impact of such parking area.		
DS-9	<b>Shared drives.</b> Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted. Shared use access between two (2) or more property owners should be encouraged through driveways constructed along property lines, connecting parking lots and construction of on-site of frontage roads and rear service drives; particularly within three hundred (300) feet of major intersections, for sites having dual frontage, at locations with site distance problems, and/or along roadway segments experiencing congestion or accidents. In such cases, shared access of some type may be the only access design allowed. In cases where a site is adjacent to an existing frontage road, parking lot of a compatible use, or rear service drive, a connection to the adjacent facility may be required by the Planning Commission through a mutual Access Easement Agreement. In cases where a site is adjacent to undeveloped property, the site should be designed to accommodate a future frontage road, parking lot connection, rear service drive or shared access drive. The applicant shall provide the City with letters of agreement or access easements from all affected property owners.		
DS-10	<b>Loading, unloading and storage areas.</b> All loading and unloading areas and outside storage areas, including areas for the storage of trash, which are visible from residential districts or public rights-of-way shall be screened by a vertical screen consisting of structural and/or plant materials not less than six feet in height. Loading docks should be located at the side yard or rear yard of the building.		
DS-11	<b>Light sources.</b> Exterior light sources shall be deflected downward and away from adjacent properties and rights-of-way to promote and enhance "dark-sky" designs.		
DS-12	<b>Utilities.</b> Adequate utilities shall be provided to properly serve the development. All utilities shall be placed underground.		
DS-13	<b>Environmental issues.</b> Sites at which hazardous substances and potential pollutants are stored, used, or generated shall be designed to prevent spills and discharges to the air, surface of the ground, groundwater, lakes, streams, creeks, or wetlands.		
DS-14	<b>Tree Preservation Purpose and Intent.</b> Trees are a critical part of the vegetation that serves to decrease and filter storm water runoff, to mitigate the urban heat island effect created by paved and other built surfaces, to remove pollutants from the air, to abate visual and noise pollution, and to provide habitat for wildlife. Tree removal thus increases the burden on the community to effectively address these issues. The goals of the tree preservation provisions are to reduce tree loss during development, to reduce damage to standing trees during construction, to provide for replacement of trees lost during construction, to provide for the planting of trees lost during construction, to provide for the planting of trees where none occurred previously, and to provide for the maintenance of preserved trees after construction is completed.		
DS-16	<b>Storm Water Control Plan.</b> A Storm Water Control Plan shall be designed appropriately to carry storm water away from buildings and adjacent properties into an approved collection system.		



# MARIHUANA SPECIAL LAND USE PERMIT APPLICATION

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DS-17	Section 1908 reviewed for Additional Development & Design Standards in Certain Districts. (Addresses exterior materials that may/may not be used.)		X
<b>Marihuana Establishment Special Land Use Standards</b>		<b>Yes</b>	<b>N/A</b>
ME-1	Facilities and establishments must comply with the MMFLA or MRTMA, as applicable; all Rules; and any other applicable state laws or regulations.	X	
ME-2	Facilities and establishments must be sufficiently screened or buffered with a fence, wall, or landscape screen to minimize light spillage, odor, and noise (including noise associated with truck traffic or other machinery), affecting adjacent properties.	X	
ME-3	Facilities and establishments must take commercially reasonable measures to ensure that odor is not detectable outside of the building or property.	X	
ME-4	Facilities and establishments must comply with all City codes and ordinances, including but not limited to the International Fire Code, as adopted by the City at Section 12-16 of the Code of Ordinances.	X	
ME-5	Special use applicants must provide a plan for the storage and disposal of marihuana or chemicals associated with marihuana cultivation to minimize the risk of theft or harm resulting from chemical exposure.	X	
ME-6	No marihuana may be stored overnight outside of an enclosed building. By way of example and without limitation, it is unlawful to store marihuana overnight in an outdoor waste bin or a secure transport vehicle parked outdoors.	X	
ME-7	An establishment may not be located within seven hundred and fifty (750) feet of an existing public or private K-12 school as measured from the nearest point of the property line.	X	
ME-8	A grower, processor, or safety compliance establishment may not be located within five hundred (500) feet of an existing one-family dwelling as measured from the nearest point of the property line.	N/A: NOT A GROW	X
ME-9	A retailer may not be located within one hundred (100) feet of any existing one-family dwelling as measured from the nearest point of the property line, except that this distance requirement does not apply in the E-3 (Central Commercial) Zoning District.	X	
ME-10	The exterior appearance of a provisioning center or retailer must be compatible with surrounding businesses with respect to façade type, ground floor opacity, size and placement of signage, site layout, etc.	X	
ME-11	Building bays shall be a maximum of thirty feet in width. Bays shall be visually established by architectural features such as columns, ribs or pilasters, piers, and fenestration pattern. To add architectural interest and variety and avoid the effect of a single, long, or massive wall with no relation to human size, the following additional standards shall apply: <ul style="list-style-type: none"> <li>No wall that faces a street or connecting walkway shall have a blank, uninterrupted length exceeding thirty feet without including at least two of the following: change in plane, change in texture or masonry pattern, windows, or an equivalent element that subdivides the wall into human scale proportions.</li> <li>Side or rear walls that face walkways may include false windows and door openings defined by frames, sills and lintels, or similarly proportioned modulations of the wall, only when actual doors and windows are not feasible because of the nature of the use of the building.</li> <li>All sides of the building shall include materials and design characteristics consistent with those on the front. Use of inferior or lesser quality materials for side or rear façades shall be prohibited.</li> </ul>	X	
ME-12	Façades that face streets or connecting pedestrian frontage shall be subdivided and proportioned using features such as windows, entrances, arcades, arbors, awnings, along no less than fifty percent of the façade.	X	
ME-13	Primary building entrances shall use clear glass and be clearly defined and recessed or framed by a sheltering element such as an awning, arcade, or portico to provide shelter from the inclement weather.	X	
ME-14	Windows shall have clear glass.	X	
ME-15	Awnings shall be no longer than a single storefront.	X	
ME-16	All façades shall have: <ul style="list-style-type: none"> <li>A recognizable “base” consisting of, but not limited to: (a) thicker walls, ledges, or sills; (b) integrally textured materials such as stone or other masonry; (c) integrally colored and patterned materials such as smooth-finished stone or tile; (d) lighter or darker colored materials, mullions, or panels; or (e) planters.</li> <li>A recognizable “top” consisting of, but not limited to: (a) cornice treatments, other than just colored “stripes” or “bands,” with integrally textured materials such as stone or other masonry or differently colored materials; (b) sloping roof with overhangs and brackets; (c) stepped parapets.</li> </ul>	X	
ME-17	Encroachments for special architectural features, such as bay windows, decorative roofs and entry features may be considered; however, in no case may such features be below a height of 8 feet.	X	
<b>Marihuana Establishment Special Land Use Standards – Provisioning Centers/Retailers</b>		<b>Yes</b>	<b>N/A</b>
MR-1	The interior of the establishment must be arranged in a way such that neither marihuana nor marihuana-infused products are visible from the exterior of the establishment.	X	
MR-2	Consumption of marihuana shall be prohibited in the retail establishment, and a sign shall be posted on the premises of each retail center indicating that consumption is prohibited on the premises.	X	



# MARIHUANA SPECIAL LAND USE PERMIT APPLICATION

Planning & Zoning Department – 906-786-9402

MR-3	Provisioning centers and retailers shall continuously monitor the entire premises on which they are operated with surveillance systems that include security cameras. The video recordings shall be maintained in a secure, off-site location for a period of 14 days.	X	
MR-4	The public or common areas of the retail establishment must be separated from restricted or non-public areas of the marihuana establishment.	X	
MR-5	No drive-through window on the portion of the premises occupied by a retail establishment shall be permitted.	X	
MR-6	Provisioning centers and retailers shall not allow the sale, consumption, or use of alcohol or tobacco products on the premises.	X	
<b>Marihuana Establishment Special Land Use Standards – Growers, Processors, Safety Compliance</b>		<b>Yes</b>	<b>N/A</b>
MG-1	<p>Marihuana growers must control and eliminate odor as follows:</p> <ul style="list-style-type: none"> <li>The building must be equipped with an activated air scrubbing and carbon filtration system for odor control to ensure that air leaving the building through an exhaust vent first passes through an activated carbon filter and air scrubbing system.</li> <li>The filtration system must consist of one or more fans, activated carbon filters and be capable of scrubbing the air prior to leaving any building. At a minimum, the fans must be sized for cubic feet per minute (CFM) equivalent to the volume of the building (length multiplied by width multiplied by height) divided by three. The filters shall be rated for the applicable CFM.</li> <li>The air scrubbing and filtration system must be maintained in working order and must be always in use. The filters must be changed per manufacturers' recommendation to ensure optimal performance.</li> <li>Negative air pressure must be maintained inside the building.</li> <li>Doors and windows must remain closed, except for the minimum time length needed to allow people to ingress or egress the building.</li> <li>An alternative odor control system is permitted if the special use applicant submits a report by a mechanical engineer licensed in the state of Michigan sufficiently demonstrating that the alternative system will eliminate odor as well or better than the air scrubbing and carbon filtration system otherwise required.</li> </ul>		X
MG-2	Cultivation must occur within an enclosed building with exterior facades consisting of opaque materials typical of an industrial or commercial building. The roof of the building may be constructed of a rigid transparent or translucent material designed to let in light, such as glass or rigid polycarbonate or fiberglass panels. Films or other non-rigid materials cannot be used to construct any component of the building's exterior structure.		X
MG-3	Cultivation must be conducted in a manner to minimize adverse impacts on the City's sanitary sewer and in compliance with the City's Wastewater Ordinance. The City's Water/Wastewater Department shall review all pertinent information relating to sewer discharges and shall provide any comments to the planning commission.		X



# MARIHUANA SPECIAL LAND USE PERMIT APPLICATION

Planning & Zoning Department – 906-786-9402

**All construction or addition to a structure requires zoning approval, whether or not a building permit is required.**

- Please call the Delta County Building & Zoning Department at (906) 789-5189 to determine if you will need a building permit in addition to the Zoning Compliance Permit.

**Property Access:**

- Assessing Staff may visit the property for tax purposes, as applicable.
- Planning & Zoning Staff may visit the property for inspection and verification of compliance with this permit.

**Setbacks:**

- A setback is the distance required between a property line and a roof edge, excluding allowable projections and encroachments.
- Setbacks vary by zoning district and for corner lots. On corner lots, both street frontages are considered as front lot lines for setback purposes. The side opposite the street address is considered the rear yard. The remaining side is the side yard.

**Property Lines:**

- It is the property owner’s responsibility to know the exact location of their property lines.
- The City Engineering Department can assist with locating existing property corner markers upon request. This is not a legal survey and is not guaranteed to be accurate. The City of Escanaba assumes no responsibility for property corner markings, measurements, or errors thereof.
- If greater assurance of accuracy is desired, please contact a local surveying firm for a full property survey.

**Penalties for Construction Prior to Approval:**


- If construction commences prior to obtaining an approved Zoning Compliance Permit, citations for civil infractions may be issued. Additionally, the structure will be required to be moved or altered to bring it to full compliance with the zoning ordinances.

**Zoning Ordinance Compliance:**

- The above stipulations and requirements are not all-inclusive.
- It is the applicant’s and property owner’s responsibility to review the Zoning Ordinance for all the applicable standards regarding the proposed project.

**Easements:**

- No structures will be permitted within any legal easement.
- Existing structures that are located within an easement will be evaluated for easement violation and may be required to be moved or removed.

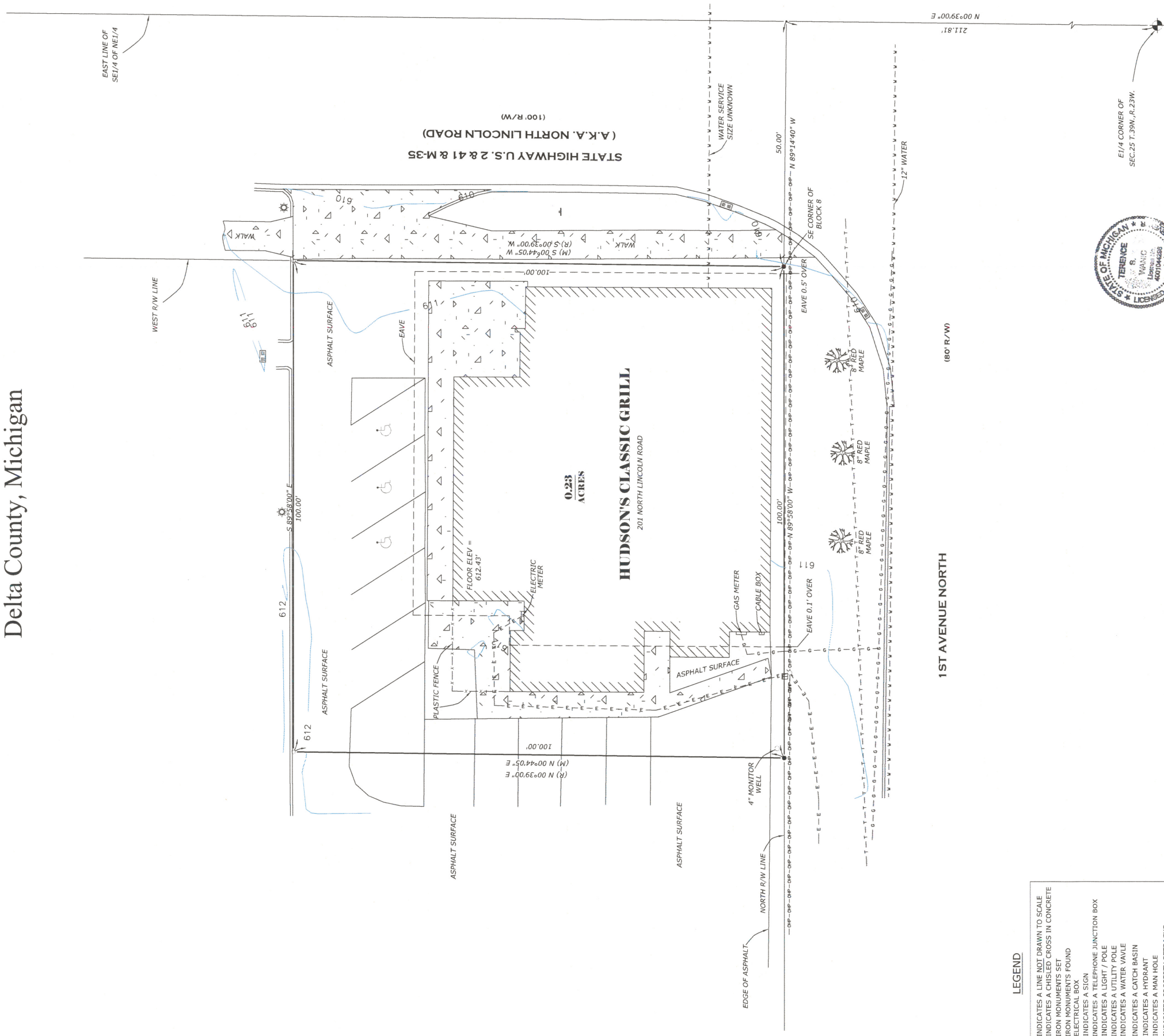
<b>Affidavit and Signature</b>	
I, the undersigned, have read and understand the above statements. I acknowledge that the information in this application is true, and if found not to be true, any zoning permit that may be issued may be void. I agree to comply with the conditions and regulations provided with any permit that may be issued and will also comply with all applicable sections of the City of Escanaba Zoning Ordinance. I give permission for officials of the City of Escanaba, the County, and the State of Michigan to enter the property subject to this permit application for purposes of inspection. Finally, I understand that this is a zoning permit application (not a permit) and that a zoning permit, if issued, conveys only land use rights, and does not include any representation or conveyance of right in any other statute, building code, deed restriction or other property rights.	
Applicant Printed Name	
Stosh Wasik and Logan Stauber	10/11/2022
Applicant Signature	Date
	





Topographic Survey of  
**Part of Block 8 of  
 City Center Addition No.3 &  
 Part of SE1/4 of NE1/4 of  
 Section 25 T.39N., R.23W.**

City of Escanaba  
 Delta County, Michigan



**LEGEND**

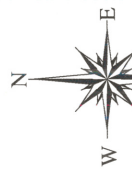
- INDICATES A LINE NOT DRAWN TO SCALE
- INDICATES A CHISELED CROSS IN CONCRETE
- INDICATES AN IRON MONUMENT SET
- INDICATES AN ELECTRICAL BOX
- ⊕ INDICATES A SIGN
- ⊕ INDICATES A TELEPHONE JUNCTION BOX
- ⊕ INDICATES A LIGHT / POLE
- ⊕ INDICATES A UTILITY POLE
- ⊕ INDICATES A WATER VALVE
- ⊕ INDICATES A CATCH BASIN
- HYD INDICATES A HYDRANT
- MH INDICATES A MAN HOLE
- INDICATES PROPERTY SETBACKS
- INDICATES UNDERGROUND FIBER LINE
- INDICATES A WATER MAIN
- UNDERGROUND POWER
- OVERHEAD POWER / CABLE
- UNDERGROUND GAS LINE
- UNDERGROUND TELEPHONE
- SANITARY SEWER LINE
- GUY WIRE
- STORM LINE
- INDICATES CONCRETE SURFACE

**SURVEY NOTES:**

1. ELEVATIONS ARE IN NGVD 29 DATUM.
  2. HORIZONTAL COORDINATES ARE ASSUMED (LOCAL SITE).
  3. CONTOUR INTERVAL IS 1.0'.
- NOTE: THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY. BEFORE ANY CONSTRUCTION OCCURS, CONTACT MISS DIG FOR THE ON-SITE STAKING OF ALL UTILITIES (800) 462-7171.

**BENCH MARK DATA**

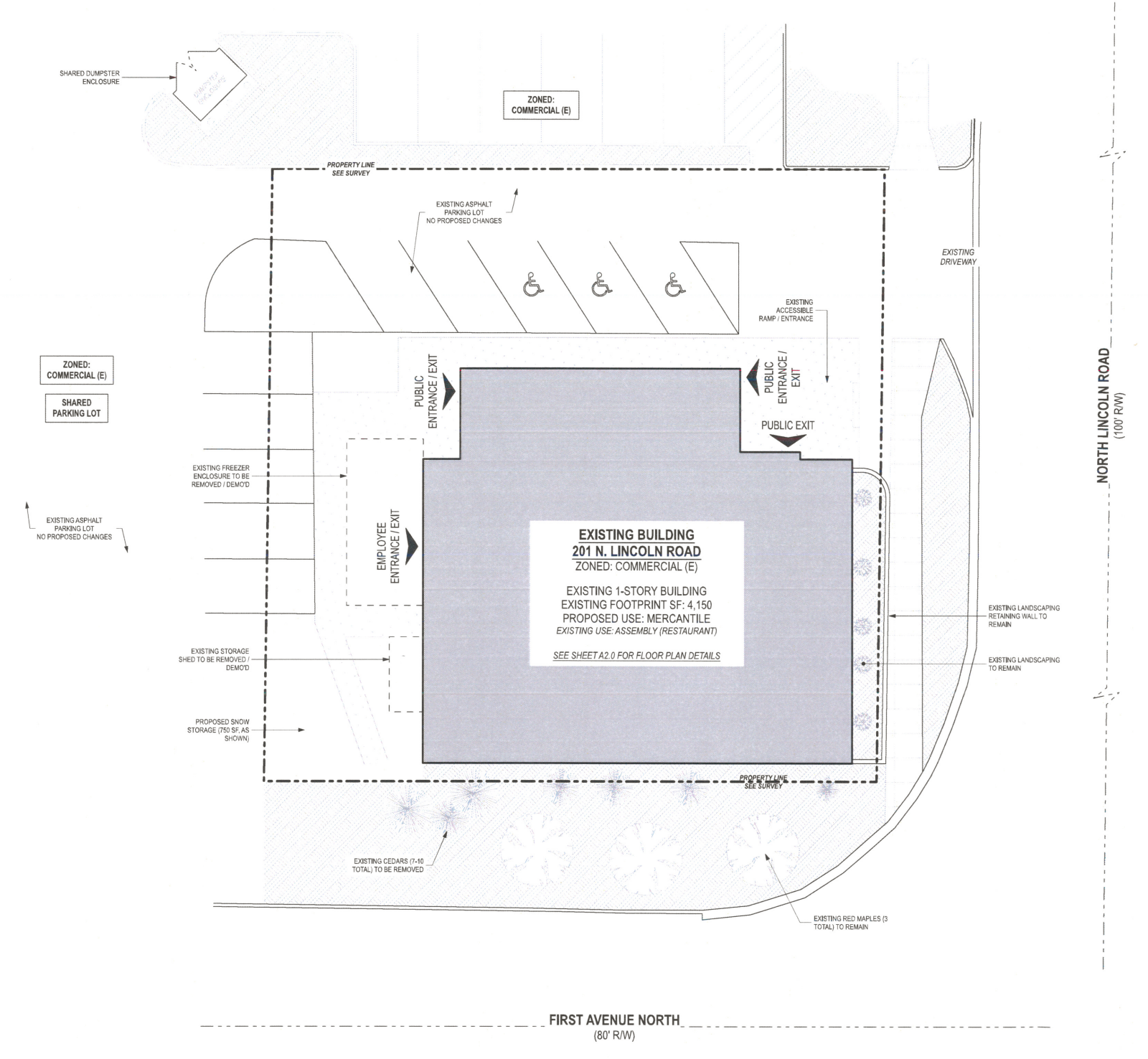
REFERENCE BENCHMARK ESCANABA HARN STATION AT WATER PLANT - ELEVATION = 590.36'



SCALE: 1" = 10'  
 CITY CENTER ADDITION NO.3  
 RECORDED IN LIBER 'B' OF PLATS  
 ON PAGE 62.

**WANIC**  
 LAND SURVEYORS, P.C.  
 1410 Ludington Street  
 Escanaba, Michigan 49829  
 Phone (906) 786-1755,  
 Fax 786-6467

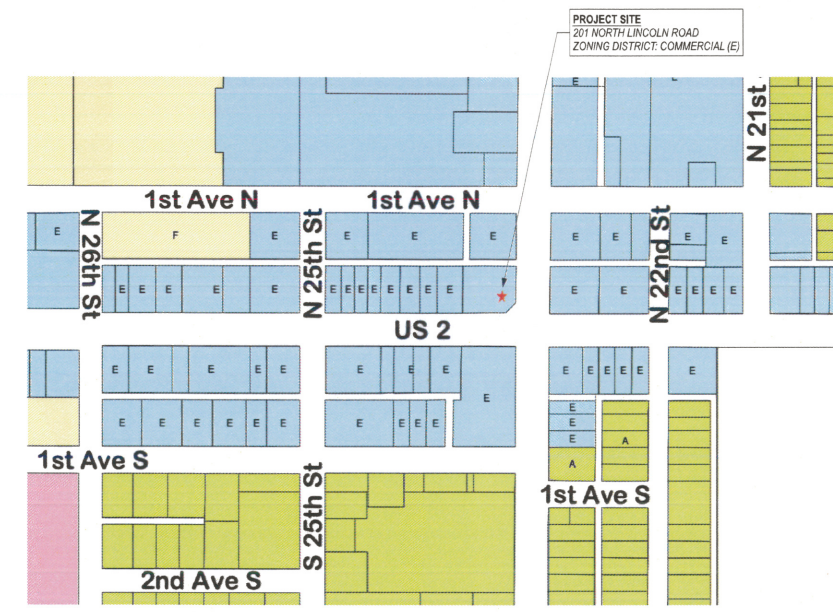
JOB NUMBER HUDSON'S TOPO - 222  
 SURVEY FOR IAG DESIGN  
 SUBJECT TOPOGRAPHIC SURVEY  
 DATE OF SURVEY SEPTEMBER 27, 2022  
 DATE OF MAPPING SEPTEMBER 28, 2022



**1 ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 10'

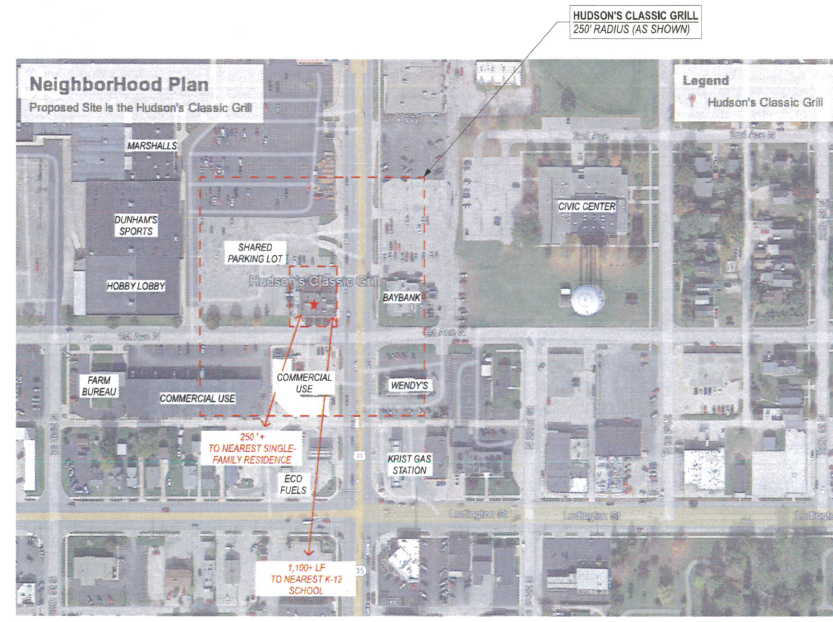
**GENERAL SITE NOTES:**  
NO PROPOSED TOPOGRAPHY CHANGES.  
NO PROPOSED LANDSCAPE CHANGES.  
REFER TO EXISTING SURVEY FOR EXACT PROPERTY LINES, SETBACKS & EASEMENTS.

ZONING / SITE ANALYSIS		201 NORTH LINCOLN ROAD
ZONING DISTRICT:	EXISTING LOT SIZE:	COMMERCIAL (E) 10,010 +/- SF (.23 ACRES)
MAX. BUILDING HEIGHT:	EXISTING BUILDING HEIGHT:	70' 15' +/-
MIN. FRONT SETBACK:	MIN. SIDE SETBACK (2):	0' 0'
MIN. REAR SETBACK:		25'
EXISTING BUILDING USE:	PROPOSED BUILDING USE:	ASSEMBLY (RESTAURANT) MERCANTILE
EXISTING BUILDING HEIGHT:	EXISTING BUILDING HEIGHT:	15' +/- (SEE EXTERIOR ELEVATIONS, SHEETS A6.0 & A6.1)
GROSS BUILDING AREA:	GROSS BUILDING AREA:	EXISTING: 4,150 +/- TOTAL SQUARE FEET
<b>PARKING COUNT</b>		
ACCESSIBLE PARKING REQUIRED	EXISTING PARKING SPACES	2 REQUIRED, 3 PROPOSED 10 ON-SITE / 30+ ADJACENT SITE / SHARED



**CITY ZONING MAP**

E COMMERCIAL  
 E-1 PLANNED COMMERCIAL  
 E-2 SPECIAL PLANNED  
 F LIGHT MANUFACTURING



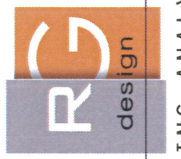
**VICINITY MAP**

RG DESIGN COMPANY  
829 CROIX STREET  
MEGAUNEE, MI 49866  
P: 906.273.1041  
WWW.RG-DESIGN.CO

THE FIRE STATION - ESCANABA RENOVATION  
RGD PROJECT #: 22-029

THE FIRE STATION CANNABIS COMPANY  
201 NORTH LINCOLN ROAD  
ESCANABA, MICHIGAN 49829

ARCHITECTURE  
INTERIOR DESIGN  
PROJECT MANAGEMENT  
KITCHENS • BATHROOMS • CLOSETS



IF THE ABOVE DIMENSION DOES NOT MEASURE OUT EXACTLY, THESE DIMENSIONS WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELLED SCALE.

BY PHASE	DATE
RGD CITY ZONING	10/14/22
DATE:	10/14/22
SCALE:	AS NOTED
DRAWN:	
JOB #:	22-029
SHEET	

C2.0

Plotted On: 10/14/22







GRETCHEN WHITMER  
GOVERNOR



ORLENE HAWKS  
DIRECTOR

STATE OF MICHIGAN  
DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS  
LANSING  
VIA ELECTRONIC MAIL

Date: November 27, 2019

Addressee: The Fire Station, LLC

Address: [REDACTED]

RE: Prequalification status for your pending application

Dear Applicant:

The Marijuana Regulatory Agency (Agency) considered your partial application for prequalification status and determined that you have prequalification status pursuant to the licensing provisions of the Michigan Regulation and Taxation of Marihuana Act (MRTMA) and Emergency Rules dated July 03, 2019. This letter may be provided to a municipality as documentation of your prequalification status. Please note that this is a pending status until all application requirements of the MRTMA and Emergency Rules dated July 03, 2019 are completed. A state license for a marihuana establishment cannot be issued at this stage of the application process. During complete application review, the Agency will consider all information relevant to eligibility including information that has been newly acquired or information that is newly apparent since determination of Prequalification status.

If you have not already done so, please submit a facility license application (Step 2) for each state license for which you wish to apply. You may submit an application online through the Accela Citizen Access Portal on the Agency website at [www.michigan.gov/mra](http://www.michigan.gov/mra) or your application may be submitted by mail or in person.

**Mailing Address:**

Marijuana Regulatory Agency  
Licensing Division  
Adult-Use  
P.O. Box. 30205  
Lansing, MI 48909

**In Person:**

Marijuana Regulatory Agency  
Licensing Division  
Adult-Use  
2407 North Grand River  
Lansing, MI 48906

Sincerely,

Licensing Division  
Marijuana Regulatory Agency

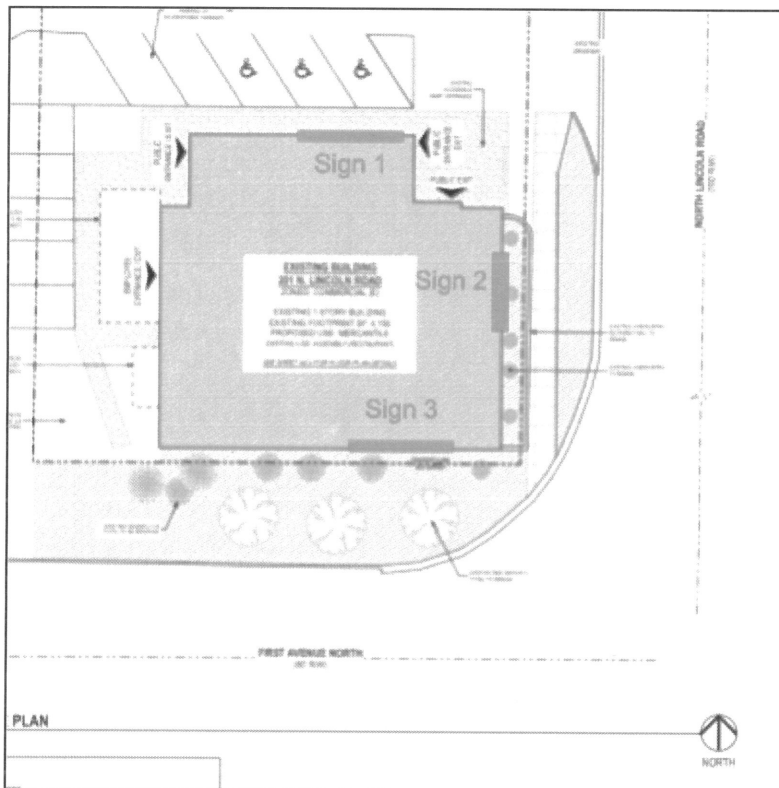
## SP-16 - Signage

### **SIGNAGE CONSIDERATIONS**

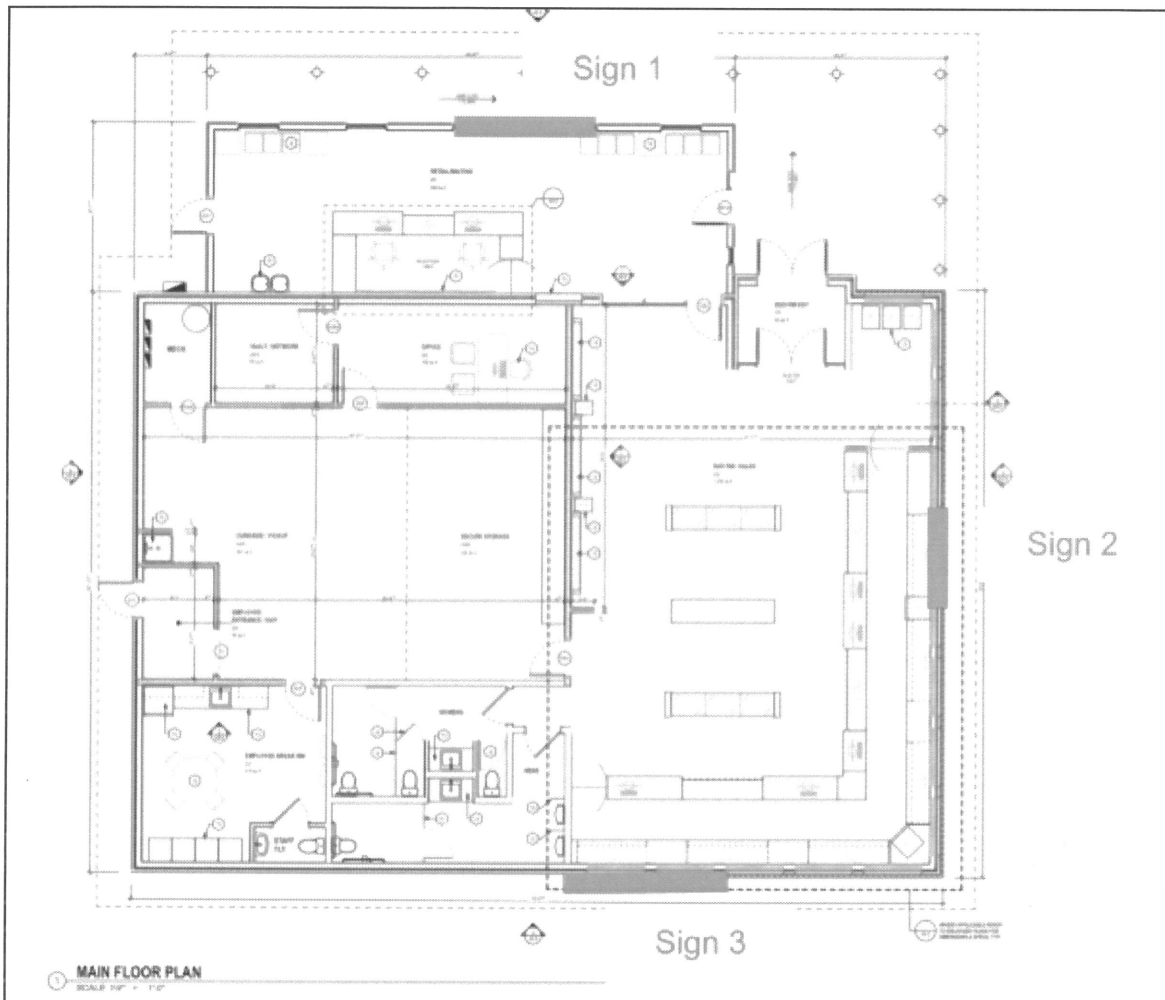
Under Michigan State law, advertising methods and advertising language are very restricted. Further, TFS must remain compliant with any restrictions in City signage ordinances. A sign is a way for TFS to express their brand, draw in eligible customers, and let customers and passerbys know where the establishment is located. A sign serves to be a welcoming first impression of the property and a representation of what to expect.

TFS will ultimately comply with signage requirements of the cities they operate within. Signage structures on the premises and the exterior of the building will be compliant with State and City rules and regulations, specifically stated in the Escanaba Zoning Ordinance, Chapter 20 Signs.

*TFS proposes 3 signs on the exterior of the building. Sign dimensions were estimated based on wall and roof sign regulations within Chapter 20: Signs. An official sign permit will be completed prior to erecting any exterior signage on the building and premises. The information proposed here may be slightly adjusted prior to submitting the final sign proposal, but all adjustments will result in signage remaining compliant with Escanaba signage regulations.*



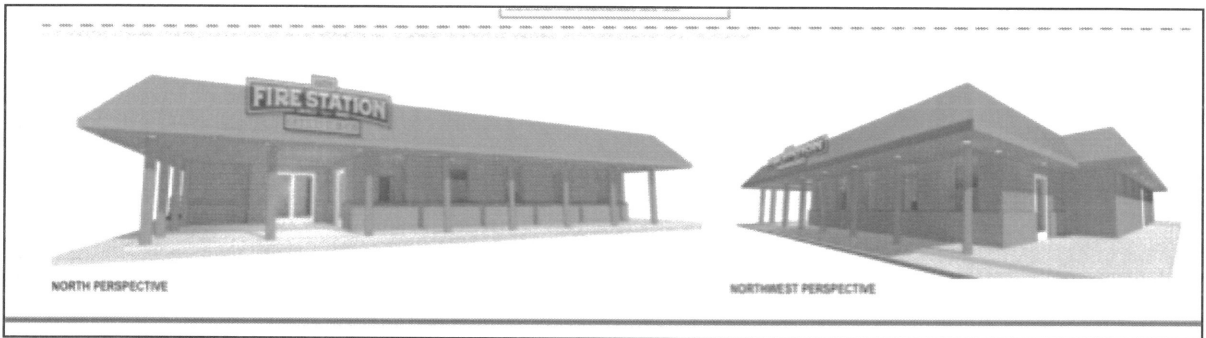




## SIGN #1

### Sign type: Roof

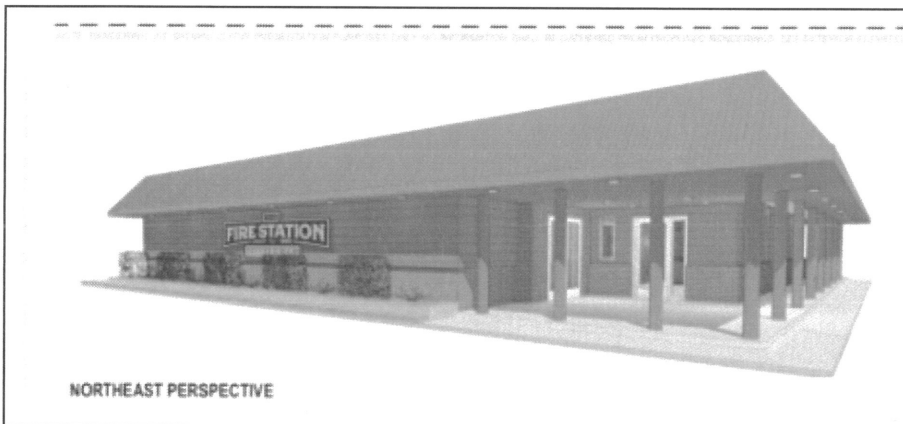
- Roof Mount Sign
- Location of sign: North exterior facade
- Length of North exterior facade of building: 70 feet
- Allotted sign area for main wall sign: Two (2) square feet per building length footage occupied by business, not to exceed 400 square feet.
  - $2 \times 70 = 140$  sq ft (maximum area per wall sign on this wall of the building)
- Minimum dimensions of sign:
  - 15 ft length x 5.79 ft height
  - Total area of sign: 86.85 sq ft
  - Width of sign: 8"
- The area of the roof sign is within the square footage maximums for the main and secondary wall signs allowed by the Signage Ordinance.



## SIGN #2

### Sign type: Wall mounted

- Wall Mount Sign
- Location of sign: East exterior facade (facing N Lincoln Ave)
- Length of East exterior facade of building: ~64 feet
- Allotted sign area for secondary wall sign: One and a half (1.5) square foot per building length footage occupied by business, not to exceed 300 square feet
  - $1.5 \times 64 = 96$  sq ft (maximum area per wall sign on this wall of the building)
- Minimum dimensions of sign:
  - 15 ft length x 5.79 ft height
  - Total area of sign: 86.85 sq ft
  - Width of sign: 8"
- The area of the wall sign is within the square footage maximums for the main and secondary wall signs allowed by the Signage Ordinance.

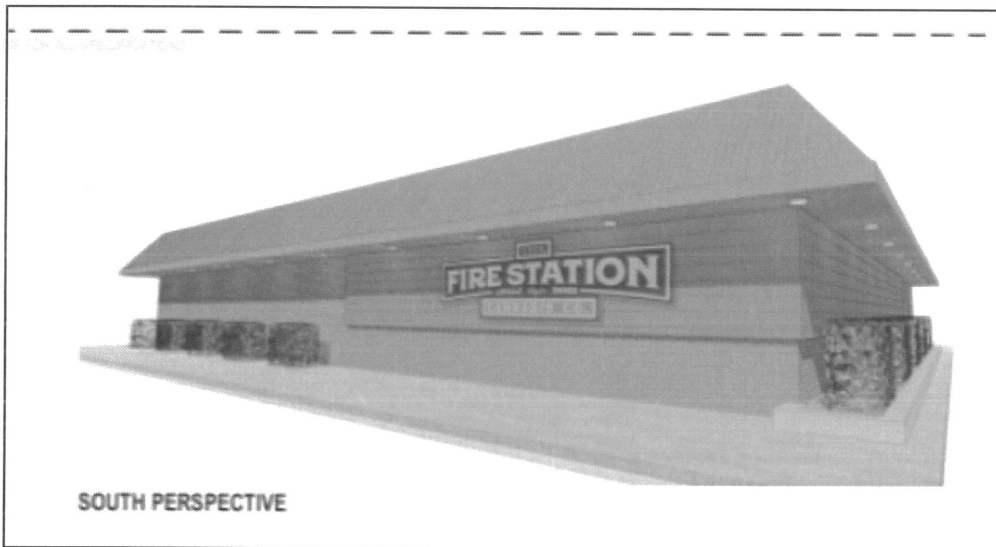


### **SIGN #3**

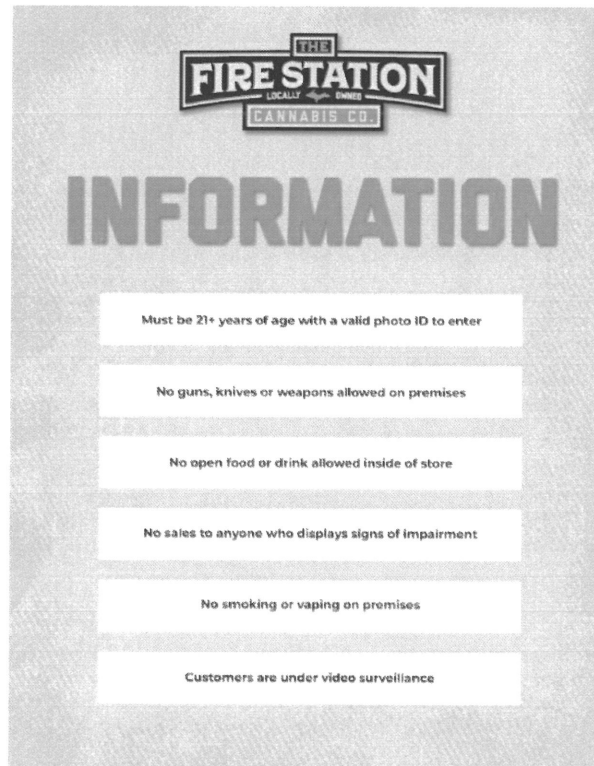
#### **Sign type: Wall mounted**

##### Wall Mount Sign

- Location of sign: South exterior facade (facing 1st Avenue North)
- Length of South exterior facade of building: ~ 70 feet
- Allotted sign area for secondary wall sign: One and a half (1.5) square foot per building length footage occupied by business, not to exceed 300 square feet
  - $1.5 \times 70 = 105$  sq ft (maximum area per wall sign on this wall of the building)
- Minimum dimensions of sign:
  - 15 ft length x 5.79 ft height
  - Total area of sign: 86.85 sq ft
  - Width of sign: 8"
- The area of the wall sign is within the square footage maximums for the main and secondary wall signs allowed by the Signage Ordinance.



The following proposed messages will be relayed as signage posted at all points of entrance and exit of the establishment. This is to ensure customers are reminded of these important messages as they enter and exit the establishment. The signs will read the following or similar language:



## ME-3 Odor Control

### **RETAIL ESTABLISHMENT ODOR CONTROL**

The Fire Station is aware and cautious about the odor associated with marijuana products. As with any requirement of any City they operate within, TFS will follow any necessary requirements of City code in regards to odor control. Specifically, TFS will ensure that the following requirements in the City of Escanaba's Marijuana Ordinance in regards to odor control are adequately met.

Odors will be confined to the interior of the building from which the odor is generated. As a marijuana retailer, TFS's current operations do not involve the cultivation or processing of marijuana plants. Instead, they are licensed to acquire lab-tested marijuana products from licensed processors and licensed growers to then be sold in their retail establishment. TFS holds very high respect for the Escanaba Community members and businesses immediately surrounding its potential establishment, and wishes to implement an odor control plan that prevents strong odors from regularly exiting the establishment (or developing on the

property) and causing unwanted disruptions to the surrounding environment. The actions focused on at TFS to prevent odor include but are not limited to the following:

**Proper Product Storage & Packaging.** The first line of defense in controlling odor is confining all odor sources to a restricted access inventory storage and packing room. This room is where inventory is stored and bulk flower is broken down, handled, packed into containers and stored. The majority of the odor will reside within this room, only escaping as the door is opened for ingress and egress. This room acts to mitigate odors from regularly exiting the establishment. All products TFS obtains arrive in prepackaged units that are sealed and smell proof. Odorous bulk flower that must be repackaged for sale is done so into sealed, secured, smell proof containers. This action complies with the marijuana product storage regulations set by LARA. Between proper product storage in a restricted access area and proper packaging, TFS is consistently monitoring and mitigating odor from exiting the establishment.

**Air Filtration, Ventilation & Exhaust.** A carbon filtration system will be used to purify and filter the air (gasses) within the retail establishment. Odor within the retail establishment will be managed at the site by the installation of a suitable operable air filtration system connected to appropriate ventilation and exhaust equipment to ensure that air leaving the building through an exhaust vent passes through an activated carbon filter. The filtration system will consist of one or more fans and activated carbon filters sized for the cubic feet per minute (CFM) equivalent of the volume of the building divided by three. The filters will be rated for the applicable CFM, and be in use and maintained in working order. The carbon filtration system will act in the following manner:

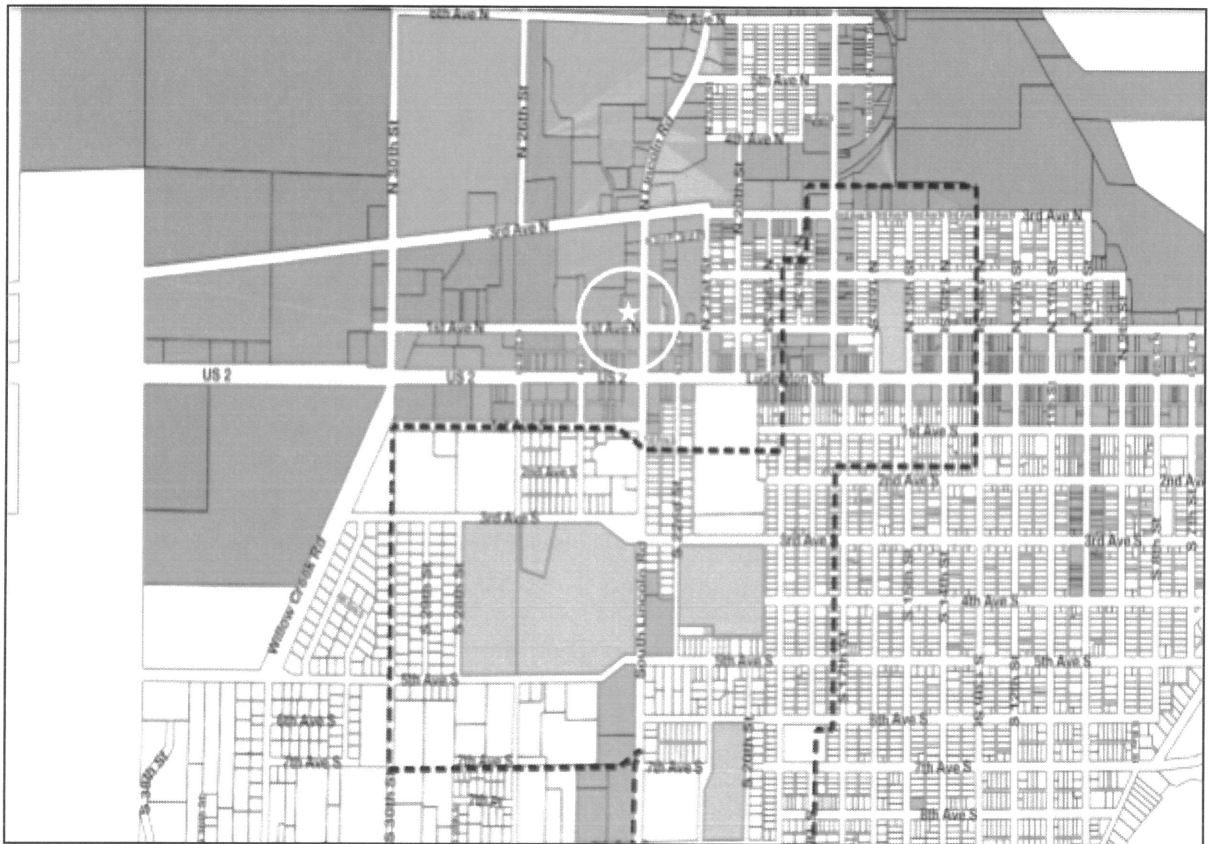
*"Granular activated carbon filtration (GAC) is a method of purification that uses activated carbon to purify liquid and gas by the process of adsorption, whereby molecules of a gas are trapped on the surface of a solid or liquid. Activated carbon is an ideal material for a wide range of purification types since it has a very high internal surface area and can be employed in several different applications such as removing foul taste, odor, and hazardous chemicals." <https://www.samcotech.com>*

**Proper Sanitation & Maintenance.** After initial build and installation of the establishment ventilation and carbon filtration systems, there will be regular cleaning and maintenance of this equipment and filters to ensure consistent, high quality air filtration at all times. To prevent odors other than marijuana odors from developing on the property, proper sanitation, maintenance and waste management actions will be enforced on a daily basis. The Fire Station is eager to enforce the necessary means to control any odor issues by following State and City regulations.

## **ME7 and ME9 - Distances from schools/residential homes**

### **LOCATION AREA MAP**

The complete parcel of land entailing 201 North Lincoln Rd is zoned in the Commercial District. This location is represented by the yellow star centered on the City of Escanaba's Marijuana Buffer Map, shown below. This map serves to ensure that the proposed property is not within an area zoned exclusively for residential (or other) use.



A location area map (shown below) has been created to the best of their ability using Google Earth to establish distances between the pre-existing schools and the proposed property.

Using Google Earth distance measuring tools, the distances from the proposed TFS retail location's property line (represented by the purple box inside of the yellow circular object on the location area map) to the nearest property line of these schools were found. These measurements ensured a straight line between the nearest property lines of the respective properties being evaluated. These distances were recorded in a spreadsheet that has been provided below. Application viewers/graders can be sure that the proposed location does not lie within 750 ft of any pre-existing structures, or within 100 ft of a residential home, as described in the Marijuana Establishment Ordinance and associated Zoning Ordinance of the City of Escanaba.

Type	Name of Pre-Existing Structure	Address of Pre-Existing Structure	Distance from 201 North Lincoln Rd
School	Escanaba Upper Elementary	1500 Ludington St	Over 2,000 ft
School	John Lemmer Elementary	700 S 20th St	Over 3,000 ft
School	Escanaba High School	500 S Lincoln Rd	Over 1,500 ft
School	Holy Name Catholic	409 S 22nd St	Over 1,500 ft

	School		
School	Webster Elementary School	1213 N 19th St	Over 4,000 ft
School	Early Head Start	1905 S 21st	Over 8,000 ft



**The property lines of their proposed property at 201 North Lincoln Rd do not interfere with any buffers created by the City, and are fully within the allowable area to locate and operate a Marijuana Retail Establishment.**

# Renters face charging dilemma as U.S. cities move toward EVs

PORTLAND, Ore. (AP) — Stephanie Terrell bought a used Nissan Leaf this fall and was excited to join the wave of drivers adopting electric vehicles to save on gas money and reduce her carbon footprint.

But Terrell quickly encountered a bump in the road on her journey to clean driving: As a renter, she doesn't have a private garage where she can power up overnight, and the public charging stations near her are often in use, with long wait times. On a recent day, the 23-year-old nearly ran out of power on the freeway because a public charging station she was counting on was busy.

"It was really scary and I was really worried I wasn't going to make it, but luckily I made it here. Now I have to wait a couple hours to even use it because I can't go any further," she said while waiting at another station where a half-dozen EV drivers circled the parking lot, waiting their turn. "I feel better about it than buying gas, but there are problems I didn't really anticipate."

The great transition to electric vehicles is underway for single-family homeowners who can charge their cars at home, but for millions of renters like Terrell, access to charging remains a significant barrier. People who rent are also more likely to buy used EVs that have a lower range than the latest models, making reliable public charging even more critical for them.

Now, cities from Portland to Los Angeles to New York City are trying to come up with innovative public charging solutions as drivers string power cords across sidewalks, stand up their own private charging stations on city right-of-ways and line up at public facilities.

The Biden administration last month approved plans from all 50 states to roll out a network of high-speed chargers along interstate highways coast-to-coast using \$5 billion in federal funding over the next five years. But states must wait to apply for an additional \$2.5 billion in local grants to fill in charging gaps, including in low- and moderate-income areas of cities and in neighborhoods with limited private parking.

"We have a really large challenge right now with making it easy for people to charge who live in apartments," said Jeff Allen, executive director of Forth, a nonprofit that advocates for equity in electric vehicle ownership and charging access.

"There's a mental shift that cities have to make to understand that promoting electric cars is also part of their sustainable transportation strategy. Once they make that mental shift, there's a whole bunch of very tangible things they can — and should — be doing."

The quickest place to charge is a fast charger, also known as DC Fast. Those charge a car in 20 to 45 minutes. But slower chargers which take several hours, known as Level 2, still outnumber DC fast chargers by nearly four to one, although their numbers are growing. Charging an electric vehicle on a standard residential outlet, or Level 1 charger, isn't practical unless you drive little or can leave the car plugged in overnight, as many homeowners can.

Nationwide, there are about 120,000 public charging ports featuring Level 2 charging or above, and nearly 1.5 million electric vehicles registered in the U.S. — a ratio of just over one charger per 12 cars nationally, according to the latest U.S. Department of Transportation data from December 2021. But those chargers are not spread out evenly: In Arizona, for example, the ratio of electric vehicles to charging ports is 18 to one and in California, which has about 39% of the nation's EVs, there are 16 zero-emissions vehicles for every charging port.

A briefing prepared for the U.S. Department of Energy last year by the Pacific Northwest National Laboratory forecasts a total of just under



AP photo

Rebecca DeWhitt charges her electric vehicle in the driveway of the Portland, Ore., home she rents on Sept. 30, 2022. DeWhitt and her partner aren't allowed to use the rental home's garage and so they charge their EV using an extension cord that plugs into a standard electrical outlet outside their front door. The great transition to electric vehicles is underway for homeowners who can charge their cars in a private garage, but for millions of renters like DeWhitt, access to charging remains a significant barrier.

19 million electric vehicles on the road by 2030, with a projected need for an extra 9.6 million charging stations to meet that demand.

In Los Angeles, for example, nearly one-quarter of all new vehicles registered in July were plug-in electric vehicles. The city estimates in the next 20 years, it will have to expand its distribution capacity anywhere from 25% to 50%, with roughly two-thirds of the new power demand coming from electric vehicles, said Yamen Nanne, manager of Los Angeles Department of Water and Power's transportation electrification program.

Amid the boom, dense city neighborhoods are rapidly becoming pressure points in the patchy transition to electrification.

In Los Angeles, the city has installed over 500 electric vehicle chargers — 450 on street lights and about 50 of them on power poles — to meet the demand and has a goal of adding 200 EV pole chargers per year, Nanne said. The chargers are strategically installed in areas where there are apartment complexes or near amenities, he said.

The city currently has 18,000 commercial chargers — ones not in private homes — but only about 3,000 are publicly accessible and just 400 of those are DC Fast chargers, Nanne said. Demand is so high that "when we put a charger out there that's publicly accessible, we don't even have to advertise. People just see it and start using it," he said.

"We're doing really good in terms of chargers that are going into workplaces but the publicly accessible ones is where there's a lot of room to make up. Every city is struggling with that."

Similar initiatives to install pole-mounted chargers are in place or being considered in cities from New York City to Charlotte, N.C. to Kansas City, Missouri. The utility Seattle City Light is also in the early stages of a pilot project to install chargers in neighborhoods where people can't charge at home.

Mark Long, who lives in a floating home on Seattle's Portage Bay, has leased or owned an EV since 2015 and charges at public stations — and sometimes charges on an outdoor outlet at a nearby office and pays them back for the cost.

"We have a small loading area but we all just park on the street," said Long, who hopes to get one of the utility's chargers installed for his floating community. "I've certainly been in a few situations where I'm down to 15, 14, 12 miles and ... whatever I had planned, I'm just suddenly focused on getting a charge."

Other cities, like Portland,

are working to amend building codes for new construction to require electrified parking spaces for new apartment complexes and mixed-use development. A proposal being developed currently would require 50% of parking spaces in most new multi-family dwellings to have an electric conduit that could support future charging stations. In complexes with six spaces or fewer, all parking spaces would need to be pre-wired for EV charging.

Policies that provide equal access to charging are critical because with tax incentives and the emergence of a robust used-EV market, zero-emissions cars are final-

ly within financial reach for lower-income drivers, said Ingrid Fish, who is in charge of Portland's transportation decarbonization program.

"We're hoping if we do our job right, these vehicles are going to become more and more accessible and affordable for people, especially those that have been pushed out of the central city" by rising rents and don't have easy access to public transportation, Fish said.

The initiatives mimic those that have already been deployed in other nations that are much further along in EV adoption.

Worldwide, by 2030, more than 6 million public chargers will be needed to support EV adoption at a rate that keeps international emissions goals within reach, according to a recent study by the International

Council on Clean Transportation. As of this year, the Netherlands and Norway have already installed enough public charging to satisfy 45% and 38% of that demand, respectively, while the U.S. has less than 10% of it in place currently, according to the study, which looked at electrification in 17 nations and government entities that account for more than half of the world's car sales.

Some European cities are far ahead of even the most electric-savvy U.S. cities. London, for example, has 4,000 public chargers on street lights. That's much cheaper — just a third the cost of wiring a charging station into the sidewalk, said Vishant Kothari, manager of the electric mobility team at the World Resources Institute.

## REQUEST FOR PROPOSALS

Menominee County, Michigan is requesting proposals from qualified vendors to design and build a security camera system to completely replace the existing system at the Menominee County Courthouse & Jail facilities located in Menominee, MI. The Request for Proposals and additional information is available on-line at: [www.menomineecounty.com](http://www.menomineecounty.com), Departments > Administration > Purchasing > Open Projects. Sealed proposals for this project will be received until **Friday, November 11, 2022 at 4:15 PM CST**. Contact the Menominee County Department of Administration at 906-863-9648 with questions.



## CITY OF ESCANABA PUBLIC HEARING NOTICE - PLANNING COMMISSION

At a meeting of the Escanaba Planning Commission on Thursday, November 10, 2022, at 6:00pm in the Council Chambers of the Escanaba City Hall, 410 Ludington Street, Escanaba, MI 49829, the following Public Hearing will be conducted:

### Proposed Zoning Map Amendment: E-Commercial District

In accordance with Zoning Ordinance Section 103.3, the Planning Commission will hold a Public Hearing on the proposed re-zoning of certain properties in and adjacent to the North 30th Street Corridor from F – Light Manufacturing District to E – Commercial District.

The public is cordially invited to attend this meeting should you have any questions, comments or concerns. If you are unable to attend this meeting, you may submit your written concerns to the City of Escanaba, Planning & Zoning Dept., P.O. Box 948, 410 Ludington Street, Escanaba, MI 49829 prior to November 10, 2022. All written and signed correspondence will be entered into the public record.

Information related to this agenda item can be viewed at City Hall, 410 Ludington Street, Escanaba, MI 49829 or on the City's website at [escanaba.org](http://escanaba.org) under the Planning Commission page one week prior to the meeting.

Escanaba Planning Commission



## CITY OF ESCANABA PUBLIC HEARING NOTICE - PLANNING COMMISSION

At a meeting of the Escanaba Planning Commission on Thursday, November 10, 2022, at 6:00pm in the Council Chambers of the Escanaba City Hall, 410 Ludington Street, Escanaba, MI 49829, the following Public Hearing will be conducted:

### Special Land Use – Fire Station Cannabis Co.

In accordance with Zoning Ordinance Section 205, the Planning Commission will hold a Public Hearing on the application for a Special Land Use Permit as filed by Fire Station LLC for a Recreational Marijuana Provisioning Center/Retail Establishment to be located at 201 North Lincoln Road.

The public is cordially invited to attend this meeting should you have any questions, comments or concerns. If you are unable to attend this meeting, you may submit your written concerns to the City of Escanaba, Planning & Zoning Dept., P.O. Box 948, 410 Ludington Street, Escanaba, MI 49829 prior to November 10, 2022. All written and signed correspondence will be entered into the public record.

Information related to this agenda item can be viewed at City Hall, 410 Ludington Street, Escanaba, MI 49829 or on the City's website at [escanaba.org](http://escanaba.org) under the Planning Commission page one week prior to the meeting.

Escanaba Planning Commission

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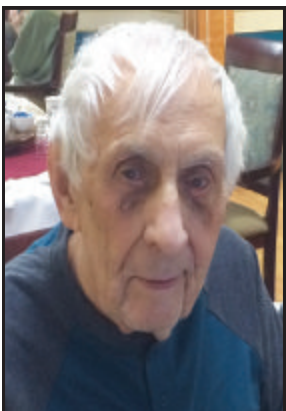
The Daily News  
N.I.E. Newspapers In Education

*Big Holiday*  
**CRAFT SHOW**

Saturday November 5th @  
Kingsford Middle School  
9:00 AM - 4:00 PM

Contact Jennifer at 906.774.2772 Ext. 218  
or [jflyn@ironmountaindailynews.com](mailto:jflyn@ironmountaindailynews.com)  
For More Information

## Veteran Of The Month - Wilfred Wallace



Rank: *Tec Sergeant 7*  
Branch Served: *Army Air Corp.*  
Why did you join? Because of war, it was the thing to do.  
Why did you pick the service branch you joined? Wanted to fly.  
Do you recall your first days in service? Miami Beach trained then to radar training.  
Which war (s) did you serve in? World War II

This month's featured Veteran is Sponsored by Garceau Insurance Agency

Where exactly did you go? England.  
Were you awarded any medals or citations? Wounded - not sure which ones.  
How long did you serve? At least three or four.

Wilfred Is A Resident Of North Woods Place, Escanaba



Local service.



823 Ludington Street, Escanaba, 906-789-0900  
N15916 U.S. 2&41, Powers, 906-497-4290

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DAILY PRESS  
600 Ludington Street  
Escanaba, Michigan 49829  
906-789-9122  
Federal ID# 38-3365439

I LESLIE LEISNER being an authorized representative of THE DAILY PRESS/ UP ACTION NEWS

Escanaba Michigan, do hereby affirm that PUBLIC HEARING NOTICE PLANNING COMMISSION ad(s) for  
CITY OF ESCANABA of MICHIGAN

were inserted first on the following dates:

10/26/22 THE DAILY PRESS  
NOT in THE TMC WEEKLY and  
NOT on THE DAILY PRESS WEBSITE

that the attached is a true copy thereof.

Leslie Leisner  
signature of authorized representative

Subscribed and sworn to before me this TWENTY FIFTH day of Oct-22

Dawn Williams  
notary public, Delta County, Michigan

My commission expires 18-Feb-28

Dawn Williams  
Notary Public  
Delta County  
State of Michigan  
Comm Exp 2/18/2028

October 20, 2022

«Owner\_Name»  
«Address\_Owners»  
«City\_Owners», «State\_Owners» «Zip\_Code\_Owners»

**RE: Public Hearing Notification & Invitation to Comment**

Dear Property Owner:

You are receiving this letter because your property at «Address\_Physical» is within 300 feet of a project scheduled for a Public Hearing and Site Plan Review before the Planning Commission on **Thursday, November 10, 2022 at 6:00pm** at Escanaba City Hall, 410 Ludington Street.

**Special Land Use Review—201 North Lincoln Road  
The Fire Station LLC—Marihuana Retail Establishment**

One week prior to the meeting, a copy of the project plans can be viewed in the agenda packet on our website at [escanaba.org](http://escanaba.org) or can also be viewed at City Hall, Second Floor, 410 Ludington Street, Escanaba, MI, Monday through Friday, 7:30am to 4:00pm.

You are invited to attend this meeting should you have any interest in this project. If you have comments, but are unable to attend, please submit your written comments to the Planning & Zoning Department prior to Wednesday, November 9, 2022. All written and signed comments will be entered into the public record.

The City of Escanaba will provide all necessary, reasonable auxiliary aids and services to individuals with disabilities at the meeting/hearing upon five days' notice to the City of Escanaba Clerk's Office by writing or calling (906) 786-9402.

Sincerely,



Tyler Anthony, Planning & Zoning Administrator  
on behalf of the Escanaba Planning Commission

**PROOF OF SERVICE – MAILING**

This document was enclosed in sealed envelope, first class postage fully prepaid, and deposited in the U.S. Government Mail.

Addressee(s): Assessed Property Owner/Occupant  
300' Radius of 201 N Lincoln Rd

Mailing Date: October 20, 2022

Attested To By: Heather Calouette  
City of Escanaba - City Hall

# 300' Radius from 201 North Lincoln Road



## 300' from 201 North Lincoln Rd

Parcel ID #	Address (Physical)	Owner Name	Address (Owner's)	City (Owner's)	State (Owner's)	Zip Code (Owner's)
051-120-2825-278-001	301 N LINCOLN RD	DIAL ESCANABA MALL 1 LP	11506 NICHOLAS ST STE 100	OMAHA	NE	68154-4421
051-120-2825-278-003	201 N LINCOLN RD	PALM REVOCABLE TRUST	156 E CLOVERLAND DR	IRONWOOD	MI	49938-1228
051-120-2825-278-005	309 N LINCOLN RD	DIAL ESCANABA OUTLOTS LP	11506 NICHOLAS ST	OMAHA	NE	68154-4407
051-120-2825-278-006	2400 1ST AVE N	DIAL ESCANABA OUTLOTS LP/O RYAN	15 W 6TH ST STE 2400	TULSA	OK	74119-5417
051-120-2825-278-007	205 N LINCOLN RD	BROTHERHOOD LIMITED PTR LLC	200 BOSTON POST RD STE 13	ORANGE	CT	06477-3245
051-120-2825-278-009	225 N LINCOLN RD	ESCANABA RETAIL MANAGEMENT II LLC	30200 TELEGRAPH RD STE 205	FRANKLIN	MI	48025-4503
051-120-2825-427-002	2415 1ST AVE N	UP ENTERPRISES LLC	1505 N LINCOLN RD	ESCANABA	MI	49829-1834
051-120-2825-427-007	111 N LINCOLN RD	ANDERS CORP/O KIM CARNE	823 LAKE SHORE DR	ESCANABA	MI	49829-3634
051-120-2825-427-014	2310 LUDINGTON ST	PKL LLC	522 S 28TH ST	ESCANABA	MI	49829-1231
051-120-2825-427-015	2304 LUDINGTON ST	PKL LLC	522 S 28TH ST	ESCANABA	MI	49829-1231
051-120-2825-427-016	2300 LUDINGTON ST	WA LLC	522 S 28TH ST	ESCANABA	MI	49829-1231
051-120-2930-155-002	318 N LINCOLN RD	UP ENTERPRISES LLC	1505 N LINCOLN RD	ESCANABA	MI	49829-1834
051-120-2930-155-004	200 N LINCOLN RD	BAYBANK	PO BOX 191	GLADSTONE	MI	49837-0191
051-120-2930-155-005	225 N 21ST ST	CITY OF ESCANABA	410 LUDINGTON ST	ESCANABA	MI	49829-3924
051-120-2930-301-001	112 N LINCOLN RD	DELTA NIMROD CORP/WENDYS	112 N LINCOLN RD	ESCANABA	MI	49829-1322
051-120-2930-301-003	2211 1ST AVE N	ANDERSON ARTHUR G & LOIS M	2200 LUDINGTON ST	ESCANABA	MI	49829-2323
051-120-2930-301-005	102 N LINCOLN RD	KRIST OIL COMPANY	303 SELDEN RD	IRON RIVER	MI	49935-1899

## AGENDA REPORT – PLANNING COMMISSION

For the meeting agenda of November 10, 2022

**NEW BUSINESS #1**

---

**Title: Discussion: Lists of Allowed/Permitted Uses in Zones E – Commercial and F – Light Manufacturing**

**Background:**

Upon review of Chapters 10 and 13 of the City Zoning Ordinance (E – Commercial Zoning District and F – Light Manufacturing Zoning District respectively), staff found that some uses which are allowed by right or by Special Land Use Permit in the F – Light Manufacturing District are not listed in the relevant section in the E – Commercial District.

These discrepancies present a potential future problem for properties which are currently planned for rezoning, as businesses which were permitted in the former zone will become *nonconforming uses* in the latter zone. Uses affected include theaters, retail building materials sale yards, and medical clinics separate from hospitals. This does not necessarily mean that these businesses must be shut down, as they are afforded the protections granted to nonconformities by the Zoning Ordinance. However, the Ordinance also restricts against the expansion of a nonconformity, making any additions or alterations of affected businesses impossible without Planning Commission intervention.

To remedy the situation, there are two paths available; Either the Zoning Ordinance receives amended language, or each affected business must individually go through the Special Land Use Permit process whenever a situation arises which could infringe on their nonconforming status. The first option is the most secure and straightforward course of action, but requires time to be implemented through amendment procedures. The second option, addressed in 1003.1.D. as a possibility, is only a case-by-case practice and not a long-term solution. The decision is up to the Commission whether it wishes to work more now, or less in the future on a repeated basis.

**Issues and Questions Specified:**

- Some businesses included in the proposed rezoning are not listed as permitted uses in zone “E”, while they are permitted either by right or by special land use permit in zone “F”.
- If the rezoning is accomplished, some businesses will become nonconforming uses, limiting their future growth and activity in the zone.
- “Nonconforming Use, Permitted:  
A permitted nonconforming use is a use which lawfully occupies a structure or land at the time of adoption of this Ordinance, or any amendments thereto, which does not conform with the regulations of the district in which it is located, and for which a certificate of occupancy has been issued and is in force.”  
- Section 111, City of Escanaba Zoning Ordinance

**Options for Action:**

1. Propose amendment to the Zoning Ordinance regarding permitted uses in zones “E” and/or “F” and set a date for Public Hearing before the Commission.
2. Do nothing.

**Attachments:**

1. Zoning Ordinance Sections 206.3., 1002.1., 1003.1., 1302.1., 1303.1. (Excerpt)

## Attachment #1

### CHAPTER 2 - ADMINISTRATION, ENFORCEMENT AND PENALTY

#### Section 206. – Nonconformities.

**206.3. Nonconforming Uses of Land.** Where, at the effective date of adoption or amendment of this Ordinance, lawful use of land exists that is made no longer permissible in its District under the terms of the Ordinance as enacted or amended, such use may be continued, so long as it remains otherwise lawful, subject to the following provisions:

**206.3.1. Expansion of Nonconforming Use.** No such nonconforming use shall be enlarged or increased, nor extended to occupy a greater area of land than was occupied at the effective date of adoption of this Ordinance.

**206.3.2. Moving a Nonconforming Use.** No such nonconforming use shall be moved in whole or in part to any other portion of the lot or parcel of land occupied at the effective date of adoption of this Ordinance or the effective date of amendment of this Ordinance.

**206.3.3. Change of Nonconforming Use.** No nonconforming use shall be changed to other than a conforming use, nor shall any use be reverted to a former nonconforming use after said use has been changed to a conforming use.

**206.3.4. Destruction of Nonconforming Use.** Should a nonconforming use be destroyed by any means to an extent of more than fifty (50%) percent of its replacement cost at time of destruction, it shall not be reconstructed except in conformity with the provisions of this Ordinance.

**206.3.5 Abandonment of Nonconforming Use.** If any such nonconforming use of land is discontinued or abandoned for any reason, any subsequent use of such land shall conform to the regulations specified by this Ordinance for the district in which such land is located. The owner's intent to no longer continue use of the nonconforming use shall be established by a preponderance of the following points of physical evidence:

- A. Whether utilities such as water, gas, and electricity to the property have been disconnected.
- B. Whether the property, buildings, and grounds have fallen into disrepair.
- C. Whether signs or other indications of the existence of the nonconforming use have been removed.
- D. Whether equipment or fixtures necessary for the operation of the nonconforming use have been removed.
- E. Other information or actions that evidence an intention on the part of the property owner to abandon the nonconforming use or structure.

**206.3.6. Special Uses are not Nonconforming Uses.** Any Special Use which is permitted as provided in this Ordinance shall not be deemed a nonconforming use, but shall without further action be deemed a conforming use in such district.

**206.3.7. Repair and Maintenance on Nonconforming Use.** On any building or structure devoted in whole or in part to a nonconforming use, in any period of twelve (12) consecutive months, maintenance and ordinary repairs may be done or repair or replacement of

walls, fixtures, wiring or plumbing to an extent not exceeding fifty (50%) percent of the assessed value of the building or structure, provided, that the cubic content of such building or structure as it existed at the time of passage or amendment of this Ordinance shall not be increased. Any alteration or repair approved under this Section shall meet local housing and building codes and requirements.

## **CHAPTER 10 - COMMERCIAL DISTRICT ("E")**

### **Section 1002. - Uses Permitted in a Commercial District.**

**1002.1. General.** In a Commercial District, a building, structure, or premises, may be erected or used for one (1) or more of the following specified purposes:

- A. Office, studio, barber shop, beauty shop.
- B. Retail stores and restaurants.
- C. Wholesale business, storage in bulk of or warehouse for such material as clothing, cotton, drugs, dry goods, feed, food, furniture, hardware, metals, pipe, rubber, shop, supplies, tobacco, wool within an enclosed building.
- D. Bank, financial institution, credit union, theater, moving picture house, recreation building, assembly hall, mortuary, funeral home.
- E. Cold storage plant, ice manufactory, creamery, ice cream manufactory, candy manufactory, bottling works, milk bottling or central distributing station, baking plant, dairy.
- F. Dyeing or dry cleaning plant, laundry.
- G. Ship passenger terminal, bus terminal, taxi stand.
- H. Printing plant, newspaper plant.
- I. Radio and television broadcasting station, telephone exchange, police and fire station.
- J. Community garage.
- K. Hotels, boarding houses, club houses with residential facilities, lodging houses, motels, overnight cabins, and other business of a similar nature, in which shelter or lodging is furnished a relatively transient clientele and a charge is made therefor.
- L. Churches (except on Ludington Street between 2nd Street and 22nd Street).
- M. Public or parochial schools, colleges, public library, museum, private educational institutions.
- N. Hospital, home dormitory.
- O. Community building, club, or armory.
- P. Amusement, commercial, outdoor.
- Q. Automobiles, truck and utility trailer rental.
- R. Automotive sales and repair.
- S. Car washes.
- T. Boat and ship sales and repair (not exceeding 100 feet in length).
- U. Cultural facilities.
- V. Equipment rental and leasing, within an enclosed building.
- W. Government buildings.
- X. Laboratories, dental, medical and optical.
- Y. Post Offices.
- Z. Restaurants, taverns.

- AA. Studios for artists, designers, photographers, musicians, sculptors, gymnasts, potters, wood and leather craftsman, silversmiths, and designers of ornamental and precious jewelry.
- BB. Neighborhood food and beverage service.
- CC. Catalog and mail order houses.
- DD. Funeral Home.

### **Section 1003. - Uses Allowed By Special Land Use Permit.**

**1003.1. General.** The following uses of land and buildings, together with accessory uses, are allowed in the Commercial District if a special land use permit is issued according to the standards of this chapter:

- A. Churches on Ludington Street between 2nd Street and 22nd Street.
- B. Public garages, repair shops, gasoline service stations and other motor fuel filling stations.
- C. Public garages, business, public or quasi-public, and commercial vehicle parking.
- D. The Planning Commission may authorize principle and other uses not stated in the district where the land is located, provided that such uses are consistent with the intent of this chapter and the standards set forth herein.

## **CHAPTER 13 - LIGHT MANUFACTURING DISTRICT ("F")**

### **Section 1302. - Principal Uses Permitted By Right.**

**1302.1. General.** The following uses are permitted by right in a Light Manufacturing District:

- A. Bank, financial institution, credit union, office, studio, barber shop, beauty shop.
- B. Retail stores, restaurants, taverns, and shopping centers.
- C. Wholesale business, storage in bulk or warehouse for such materials as clothing, cotton, drugs, dry goods, feed, food, furniture, hardware, metals, pipe, rubber, shop supplies, tobacco, wool within an enclosed facility.
- D. Theater, moving picture house, recreation building, assembly hall.
- E. Mortuary, funeral home.
- F. Dyeing or dry cleaning plant, laundry.
- G. Bus terminal, taxi stand, truck terminal, enclosed freight terminal (shipping and trucking), airport, railroad passenger terminal, ship passenger terminal, enclosed railroad freight terminal.
- H. Printing plant, newspaper plant, radio and television broadcasting station.
- I. Police and fire station, telephone exchange.
- J. Community garage.
- K. Motels, hotels, convention center, and arenas.
- L. Churches, public or parochial schools, colleges, public library, museum, private educational institutions, community building or club.
- M. Hospital, home, medical clinic, dormitory, kennel, and veterinary hospital.
- N. Retail building material sales yard, contractor's equipment or storage yard, lumber yard.
- O. Light manufacturing, including airplane repair and manufacture, novelty manufacture, battery charging and repair, soft drink manufacture, clock factory, clothing manufacture,



glove factory, tire repair shop and other similar uses, provided, however, that such industry is not obnoxious or offensive by reason of emission of odor, fumes, dust, smoke, waste, noise, or vibration.

- P. Amusement, commercial, outdoor.
- Q. Armories for meetings and training of military organizations.
- R. Automobiles, truck and utility trailer rental.
- S. Automotive repair garages, including engine overhaul, body and paint shops and similar operations.
- T. Automotive sales and repair, including tractor trucks, but not accompanying trailer units, including trailers, motorcycles, and recreational vehicles.
- U. Boat and ship sales and repair not exceeding one hundred (100) feet in length.
- V. Building maintenance services.
- W. Car washes.
- X. Cultural facilities.
- Y. Contractor offices and accessory storage, excluding the open storage of construction equipment and vehicles.
- Z. Distributive businesses, including warehousing in a single building.
- AA. Equipment rental and leasing.
- BB. Government buildings.
- CC. Indoor recreation facilities.
- DD. Research and production facilities.
- EE. Laboratories, dental, medical, and optical facilities (manufacture, sales and service).
- FF. Locksmiths, gunsmiths, and indoor firing ranges.
- GG. Manufacturer or assembly of:
  - Communications equipment.
  - Component parts of aircraft.
  - Computer and office equipment.
  - Electrical lighting and wiring equipment.
  - Electrical components and accessory.
  - Electronic equipment.
  - Furniture and fixtures.
  - Household audio and visual equipment.
  - Household appliances.
  - Industrial machinery.
  - Measuring and controlling devices.
  - Medical instruments.
  - Musical instruments.
  - Ophthalmic goods.
  - Pens, pencils, office and art supplies.
  - Pharmaceuticals.
  - Pumps.
  - Search and navigational equipment.
  - Toys and sporting goods.
  - Watches, clocks, watch cases and parts.
  - Wire products.
  - Other similar uses.

- HH. Manufacturer of housing sales and repairs.
- II. Merchandise showrooms, including warehousing in a single building.
- JJ. Nurseries and green houses, retail and wholesale.
- KK. Outdoor seasonal sales.
- LL. Post offices.
- MM. Studios for artists, designers, photographers, musicians, sculptors, gymnasts, potters, wood and leather craftsman, glass blowers, weavers, silversmiths, and designers of ornamental and precious jewelry.
- NN. Wholesale sales with related storage and warehousing entirely within an enclosed building.
- OO. Vocational schools, within an enclosed building.
- PP. Self-Storage Units

### **Section 1303. - Uses Allowed By Special Land Use Permit. (Excerpt)**

**1303.1. General.** The following uses of land and buildings, together with accessory uses, are allowed in the Light Manufacturing District if a special land use permit is issued according to the standards of this chapter:

- A. Wireless telecommunication facility with Planning Commission approval as outlined in Chapter 2, Administration, Enforcement and Penalty, Section 205, Special Land Use Permit Approval.
- B. Penal or correctional institutions.
- C. Public garages, repair shops, gasoline service stations.
- D. Business, public or quasi-public, or commercial vehicle parking.
- E. Special care facilities subject to the following conditions:
  - 1. A special use permit must be approved by the Planning Commission.
  - 2. The allowable number of total occupants shall not exceed six (6) within any one thousand five hundred-foot radius.
  - 3. All applicants for special use permits must demonstrate that there will be adequately trained personnel to staff or manage the type of facility being proposed.

## AGENDA REPORT – PLANNING COMMISSION

For the meeting agenda of November 10, 2022

**NEW BUSINESS #2**

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Title: **Boards/Commissions Updates**

Background:

The Planning Commission will be updated on the following topics:

- a. Delta County Planning Commission
- b. Zoning Board of Appeals
- c. Zoning/Land Use Permits

Attachments:

1. Year-to-Date Permit Report
2. Year-to-Date Zoning Process Report

Permits By Type/Month

City of Escanaba - 2022

Permit Type	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct
<b>Excavation or Right-of-Way</b>	0	0	22	14	8	22	35	22	26	3
	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
<b>Fence</b>	0	2	3	7	27	13	12	9	7	1
	\$0	\$9,070	\$3,250	\$25,630	\$33,160	\$39,575	\$37,187	\$34,214	\$39,083	\$300
<b>Moving</b>	0	1	0	0	2	5	0	0	1	0
	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
<b>Sign - Illuminated</b>	0	1	1	1	0	1	1	1	0	1
	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
<b>Sign - Non Illuminated</b>	0	2	1	1	5	2	0	1	4	1
	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
<b>Zoning Compliance - Large</b>	1	0	0	0	0	0	1	0	0	0
	\$1	\$0	\$0	\$0	\$0	\$0	\$250,000	\$0	\$0	\$0
<b>Zoning Compliance - Small</b>	1	3	4	3	4	3	3	9	3	1
	\$1	\$665,000	\$4,952	\$4,302	\$927,501	\$2,071,000	\$8,002	\$1,091,002	\$22,651	\$1,800,000
<b>TOTALS:</b>	<b>2</b>	<b>9</b>	<b>31</b>	<b>26</b>	<b>46</b>	<b>46</b>	<b>52</b>	<b>42</b>	<b>41</b>	<b>7</b>
	\$2	\$674,070	\$8,202	\$29,932	\$960,661	\$2,110,575	\$295,189	\$1,125,216	\$61,734	\$1,800,300

Population: All Records

Permit.DateIssued Between 1/1/2022 12:00:00 AM AND 11/3/2022 11:59:59 PM

Report Run Date: 11/03/2022

## **PZE Process Totals by Type**

Engineering Callouts	50
Sign Inventory	7
Sign Inventory Inspection	1
Zoning Analysis	53
Zoning Ordinance Text Amendment	1
Zoning Verification Letter	3

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<b>Grand Total:</b>	<b>115</b>
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11/03/2022

PlanReview.DateProcessStarted Between 1/1/2022 12:00:00 AM AND 11/3/2022 11:59:59 PM

## AGENDA REPORT – PLANNING COMMISSION

For the meeting agenda of November 10, 2022

**NEW BUSINESS#3**

---

### Title: Training Updates

Background: Per the Planning Commission by-laws, members are required to have four (4) hours per calendar year of training in planning and zoning.

#### Reporting of Training Hours

Details of other trainings should be reported to the Planning & Zoning Administration for record-keeping purposes at this time.

**A brief synopsis of any trainings attended should be shared, with an emphasis on particular components of relevance and potential action by the Planning Commission at that present time or in the future.**

#### Training Opportunities

- MSUE “Great Lakes Coastal Planning & Zoning Email Course” (Free)
  - <https://www.canr.msu.edu/courses/great-lakes-coastal-planning-zoning-email-course>
- MSUE Citizen Planner Online – Self-paced course, approx. 15 hours. Cost\$295.
  - [https://www.canr.msu.edu/michigan\\_citizen\\_planner/](https://www.canr.msu.edu/michigan_citizen_planner/)
- RRC Online Training – RRC Best Practice & Michigan Main Street Training Series—Free.
  - <https://www.miplace.org/events/>
- Master Citizen Planner Live Webinar Series – Open to all planning & Zoning officials - \$20 per session. See attached flyer.
  - GIS Visualization Tools for Land Use Decision Makers—October 20, 2022
  - Leadership in Planning: A statewide Showcase of “On the Ground’ Projects in 2022—November 17, 2022
  - <https://events.anr.msu.edu/event.cfm?eventID=BA1C8F8207E7CED1821FAA08CE2F11B3F028A9A7F86799C3B9C16896485CD4FF>

Please note that costs for any of these trainings may be reimbursable if cleared with the Planning & Zoning Administrator in advance to ensure funds are still available in the Planning Commission training budget.

#### Attachments

1. Master Citizen Planner (MCP) 2022 Live Webinar Series

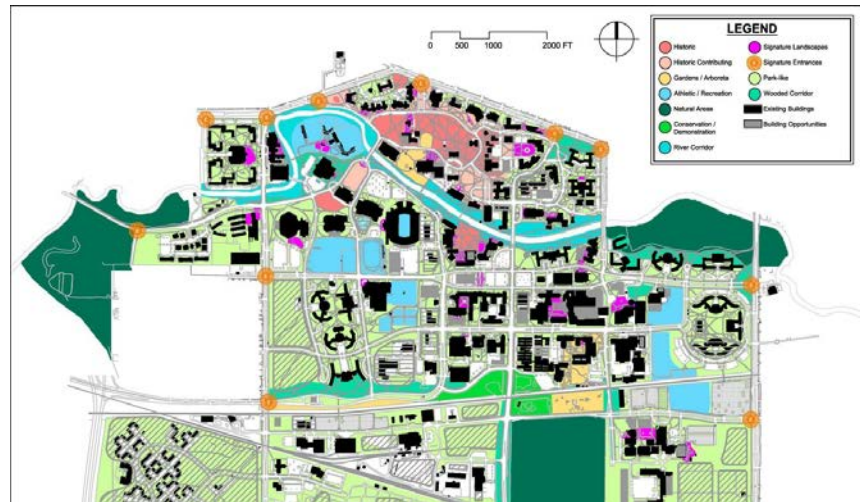


# Master Citizen Planner (MCP) 2022 Live Webinar Series

Questions?  
Contact us:  
MSU Extension,  
Citizen Planner  
Coordinator:  
(517) 353-6472

Email:  
cplanner@msu.edu

\*All webinars will be  
recorded and sent to  
registrants.



This webinar series is designed to offer continuing education for Master Citizen Planners in a convenient online opportunity\* and is open to all planning and zoning officials. Webinars are offered from 6:30-7:30 PM on the dates below.

## 2022 Webinar Topics:

- April 21:** Prime Soils, Critical Habitat, and Beyond: The Open Space & Farmland Preservation Toolkit, *Harmony Gmazel, AICP*
- May 19:** Making Defensible Decisions: Discretionary Standards, Conditions, and Procedural Due Process, *Mary Reilly, AICP & Wayne Beyea, JD, AICP*
- June 16:** Stormwater Management at the Rural/Urban Interface, *Brad Neumann, AICP & Sarah Fronczak*
- Sept. 15:** Planning & Zoning for Solar Energy Systems, *Brad Neumann, AICP & Mary Reilly, AICP*
- Oct. 20:** GIS Visualization Tools Land Use Decision Makers, *Tyler Augst*
- Nov. 17:** Leadership in Planning: A Statewide Showcase of 'On the Ground' Projects in 2022, *Master Citizen Planners*

## To register or find out more:

Register online: <https://events.anr.msu.edu/MCPWeb2022/>

Cost is \$10 per webinar for MCPs, \$20 per webinar for all others. Registrants may select individual or all webinars.

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